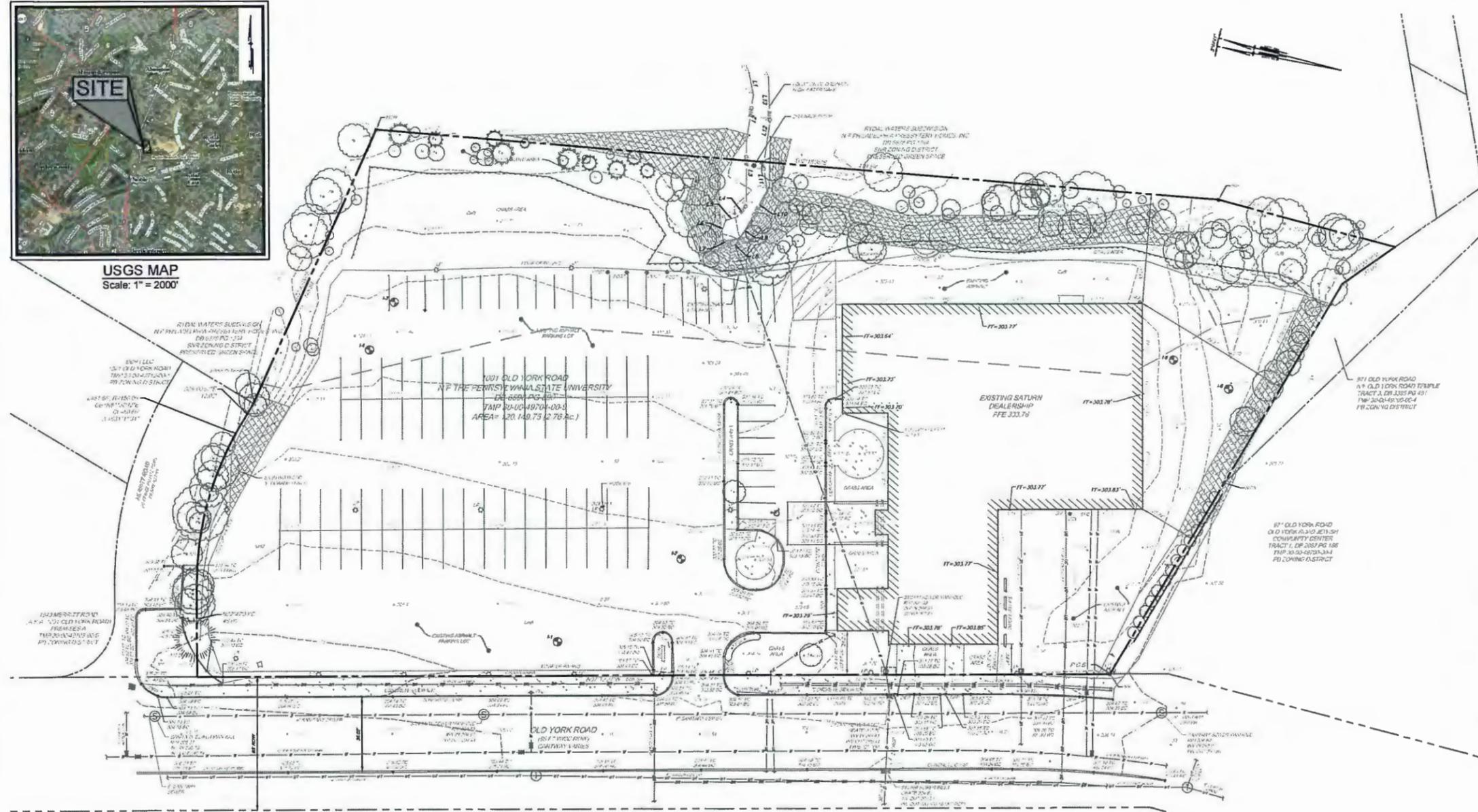




USGS MAP
Scale: 1" = 2000'



GENERAL NOTES:

- PROJECT LOCATION:
TAX MAP PARCEL #20-00-0174-00-0
1001 OLD YORK ROAD
TOWNSHIP OF ABINGTON
MONTCALM COUNTY, PA 19001
- OWNER/APPLICANT:
THE PENNSYLVANIA STATE UNIVERSITY
1800 WOODLAND ROAD
ABINGTON, PA 19011
- OUTDOOR AND TOPOGRAPHIC INFORMATION OBTAINED FROM A FIELD SURVEY PERFORMED BY PENNON ASSOCIATES, INC. BETWEEN 8/20/24 & 9/10/24.
- THE DIMENSIONS INDICATE THE APPROXIMATE LOCATION OF EXISTING SUBSURFACE UTILITIES IN THE VICINITY OF THE PROJECT, AND ARE NOT QUANTIFIED FOR ACCURACY AND/OR COMPLETENESS. PENNSYLVANIA ACT 287 OF 1974 ENTITLED "UNDERGROUND UTILITY LINE PROTECTION LAW" REQUIRES THAT THE CONTRACTORS DETERMINE THE LOCATION OF ALL UTILITIES BEFORE COMMENCING CONSTRUCTION. THE CONTRACTOR SHALL ALSO NOTIFY ALL UTILITY PROVIDERS WITHIN THE WORK AREA VIA THE PA ONE CALL SYSTEM, INC. (800-343-1776) A MINIMUM OF 3 WORKING DAYS BEFORE CONSTRUCTION BEGINS.
- THE SITE IS SERVED BY PUBLIC SEWER.
- THE SITE IS SERVED BY PUBLIC WATER BY AQUA PA.
- THE SITE IS ZONED PLANNED BUSINESS (PB) DISTRICT, PER THE CURRENT ZONING MAP OF THE TOWNSHIP OF ABINGTON DATED 6/19/2014.
- VERTICAL DATUM IS BASED UPON NORTH AMERICAN VERTICAL DATUM OF 1985 (NAVD 85).
- HORIZONTAL DATUM IS BASED UPON THE PENNSYLVANIA STATE PLANE COORDINATE SYSTEM SOUTH ZONE, NORTH AMERICAN DATUM OF 1983 (NAD 83).
- PENNSYLVANIA ONE CALL SYSTEM, INC. EDU. NO. 3014249348.
- THE SUBJECT PARCEL IS LOCATED WITHIN FLOOD ZONE X (AREAS DETERMINED TO BE OUTSIDE OF THE 500-YEAR FLOODPLAIN OF THE FEMA FLOOD INSURANCE DATE MAPS).

LEGEND

- EXISTING BUILDING
- EXISTING RIGHT-OF-WAY / PROPERTY LINE
- EXISTING ORDINARY HIGH WATER MARK
- EXISTING CURB
- EXISTING CONCRETE SIDEWALK
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- EXISTING SANITARY SEWER
- EXISTING STORM SEWER
- EXISTING WATER MAIN
- EXISTING GAS MAIN
- EXISTING ELECTRIC CONDUIT
- EXISTING TELEPHONE CONDUIT
- EXISTING MANHOLES
- EXISTING STEEP SLOPES
- EXISTING VALVES
- EXISTING STORM SEWER INLET
- EXISTING ROOF DRAIN
- EXISTING SIGN
- EXISTING FIRE HYDRANT
- EXISTING CHINESE FIRE CONNECTION
- EXISTING UTILITY POLE WITH GUY WIRE
- EXISTING UTILITY POLE
- EXISTING LIGHT POLE
- EXISTING ELECTRICAL JUNCTION BOX
- EXISTING TREE
- EXISTING SOIL DELINEATION LINE

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON THE EXTENSIONS OF THE PROJECT OR ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY PENNON ASSOCIATES FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO PENNON ASSOCIATE, AND OWNER SHALL INDEMNIFY AND HOLD HARMLESS PENNON ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.



CALL BEFORE YOU DIG
BEFORE YOU DIG ANYWHERE IN PENNSYLVANIA
CALL 1-800-343-1776
PA ACT 287 OF 1974 REQUIRES THREE WORKING DAYS NOTICE TO UTILITIES BEFORE YOU EXCAVATE, DRILL OR BLAST PENNSYLVANIA ONE CALL SYSTEM, INC.

PENNON ASSOCIATES INC. HAS NOT PERFORMED A VERIFICATION SURVEY TO DETERMINE THE EXISTENCE LOCATION OR TYPE OF ANY UNDERGROUND UTILITY LINES OF A USER, SUCH AS A PUBLIC UTILITY. ANYONE UTILIZING THESE DRAWINGS FOR CONSTRUCTION IS ADVISED TO CALL 1-800-343-1776 FOR UNDERGROUND UTILITIES PRIOR TO EXCAVATION IN ACCORDANCE WITH PA ACT 287 OF 1974 AS AMENDED. PA 1-CALLS 201-423-6246 (ABINGTON TOWNSHIP)

**PENNSYLVANIA STATE UNIVERSITY
ABINGTON**
STUDENT APARTMENTS
PSU PROJECT # 00-02841.01

Project Team
Turner SMP ARCHITECTS
Turner Construction Company
1300 Spring Garden Street, Suite 220
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www.turnerconstruction.com

MEP ENGINEER
H.F. Lenz Company
1407 Locust Avenue
Johnstown, PA 15004
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www.hfenz.com

CIVIL ENGINEER
Pennon Associates Inc.
1305 Main Street, Suite 220
Harrisburg, PA 17108
p. 717 545 6561 f. 717 545 7803
www.pennon.com

LANDSCAPE ARCHITECT
Vanden Landscape Studio
3305 Terrace Street
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www.vstfark.com

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Burd Farm LLC
304 County Club Drive
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p. 302 343 7205
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www.dajlighting.com

No.	Date	Revisions



Drawn: 05/1 Checked: 05/1 Approved: 05/1
Job Number: 2404242
File: TURNER SMP ARCHITECTS PENNSYLVANIA ABINGTON STUDENT APARTMENTS_PENNSYLVANIA STATE UNIVERSITY
Date: 06/25/2025
Drawing Set: FINAL MINOR

Drawing Title
EXISTING CONDITIONS PLAN

Drawing Number
C0.2
SHEET No. 3 OF 15

PENNSYLVANIA STATE UNIVERSITY ABINGTON
STUDENT APARTMENTS
 PSU PROJECT # 00-02841.01

Turner SMP ARCHITECTS

Turner Construction Company
 1500 Spring Garden Street, Suite 220
 Philadelphia, Pennsylvania 19130
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 www.turnerconstruction.com

SMP Architects
 1000 Walnut Street, 3rd Floor
 Philadelphia, Pennsylvania 19103
 P: 215 982 4410 F: 215 982 4430
 www.smparchitects.com

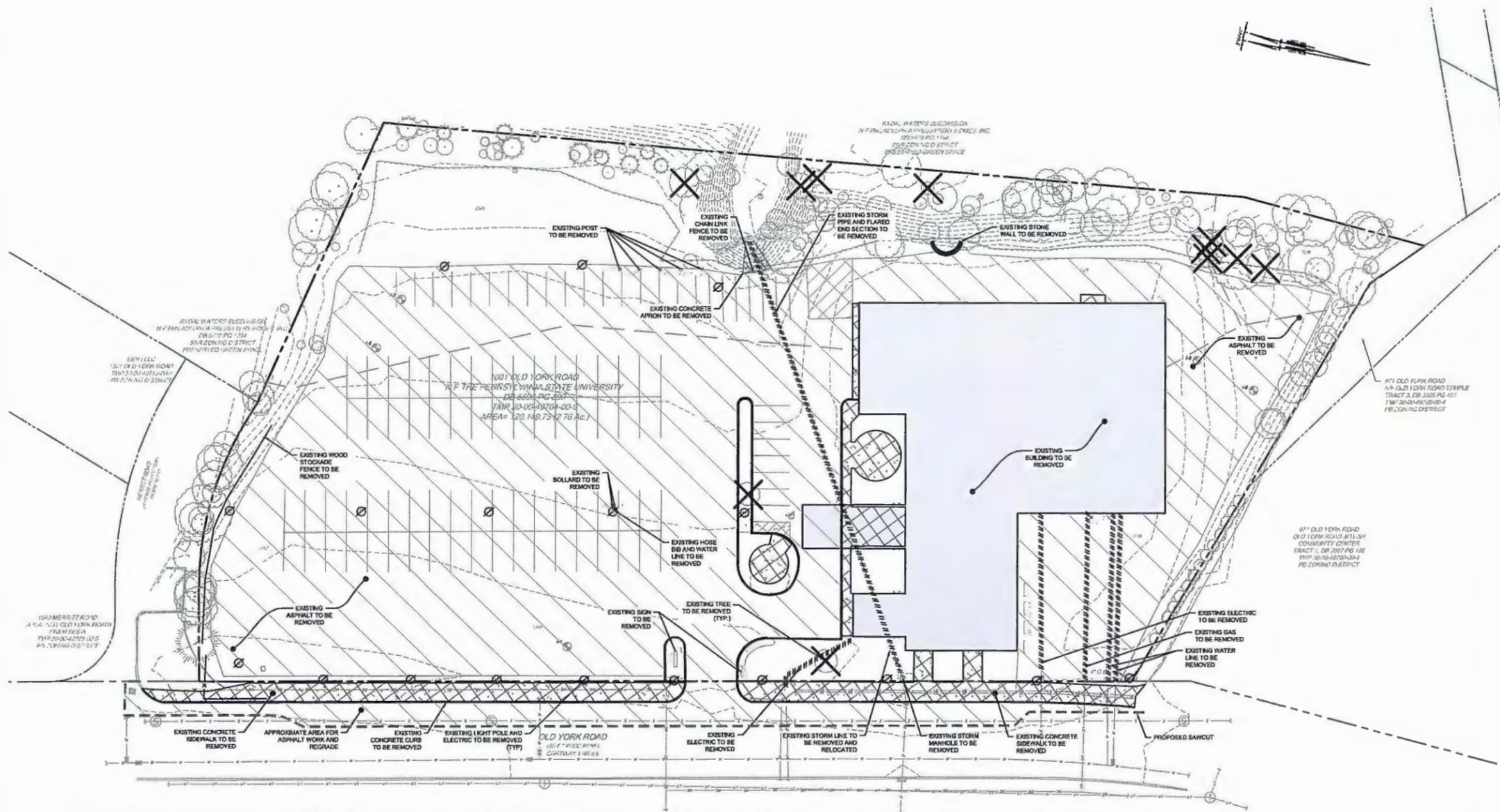
M.P. Lenz Company
 1407 Soak Avenue
 Johnstown, PA 15064
 P: 814 286 9200 F: 814 286 9201
 www.mplenz.com

CIVIL ENGINEER
 Pennoni Associates Inc.
 5252 Main Street, Suite 220
 Warminster, PA 18978
 P: 215 545 4581 F: 215 545 7553
 www.pennoni.com

LANDSCAPE ARCHITECT
 Viduan Landscape Studio
 2405 Terrace Street
 Philadelphia, PA 19128
 P: 215 482 7913 F: 215 482 7979
 www.viduan.com

STRUCTURAL ENGINEER
 B&B Form LLC
 304 Country Club Drive
 Warminster, PA 18983
 P: 215 545 7295
 www.bbbform.com

LIGHTING DESIGNER
 David Hansen & Associates
 5575 S. Sycamore Street
 Lakewood, CO 80150
 P: 303 745 2454 F: 303 484 3220
 www.dahlight.com



GENERAL NOTES:

1. PROJECT LOCATION
 TAX MAP PARCEL 83040-4704-00-0
 1001 OLD YORK ROAD
 TOWNSHIP OF ABINGTON
 MONTGOMERY COUNTY, PA 19001
2. OWNER/APPLICANT:
 THE PENNSYLVANIA STATE UNIVERSITY
 180 WOODLAND ROAD
 ABINGTON, PA 19001
3. OUTBOUND AND TOPOGRAPHIC INFORMATION OBTAINED FROM A FIELD SURVEY PERFORMED BY PENNON ASSOCIATES, INC. BETWEEN 8/20/14 & 8/21/14.
4. THE DRAWINGS INDICATE THE APPROXIMATE LOCATION OF EXISTING SUBSURFACE UTILITIES IN THE VICINITY OF THE PROJECT, AND ARE NOT GUARANTEED FOR ACCURACY AND/OR COMPLETENESS. PENNSYLVANIA ACT 287 OF 2014, ENTITLED "UNDERGROUND UTILITY LINE PROTECTION LAW" REQUIRES THAT THE CONTRACTORS DETERMINE THE LOCATION OF ALL UTILITIES BEFORE COMMENCING CONSTRUCTION. THE CONTRACTOR SHALL ALSO NOTIFY ALL UTILITY PROVIDERS WITHIN THE WORK AREA VIA THE PA ONE CALL SYSTEM, INC. (800-343-1373) A MINIMUM OF 3 WORKING DAYS BEFORE CONSTRUCTION BEGINS.
5. THE SITE IS SERVICED BY PUBLIC SEWER.
6. THE SITE IS SERVICED BY PUBLIC WATER BY AQUAPA.
7. THE SITE IS ZONED PLANNED BUSINESS ONE DISTRICT. PER THE CURRENT ZONING MAP OF THE TOWNSHIP OF ABINGTON DATED 8/10/2014.
8. VERTICAL DATUM IS BASED UPON NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).
9. HORIZONTAL DATUM IS BASED UPON THE PENNSYLVANIA STATE PLANE COORDINATE SYSTEM SOUTH ZONE, NORTH AMERICAN DATUM OF 1983 (NAD 83).
10. PENNSYLVANIA ONE CALL SYSTEM, INC. SIGNAL NO. 2014204565.
11. THE SUBJECT PARCEL IS LOCATED WITHIN FLOOD ZONE X (AREAS DETERMINED TO BE OUTSIDE OF THE 100-YEAR FLOODPLAIN OF THE FEMA FLOOD INSURANCE RATE MAP).

DEMOLITION NOTES:

1. SITE CONTRACTOR SHALL BE RESPONSIBLE FOR DISCONNECTION OF ALL UTILITIES ON SITE TO BE REMOVED.
2. ALL DEMOLITION TO BE PERFORMED BY A QUALIFIED LICENSED CONTRACTOR IN ACCORDANCE WITH ALL APPLICABLE TOWNSHIP, STATE, AND FEDERAL CODES AND REGULATIONS. ALL DEBRIS TO BE REMOVED FROM THE SITE AND DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE TOWNSHIP, STATE, AND FEDERAL REGULATIONS.
3. ALL UTILITIES SHALL BE DISCONNECTED AND REMOVED IN ACCORDANCE WITH ALL APPLICABLE TOWNSHIP, STATE, AND FEDERAL REGULATIONS.
4. ANY PUBLIC UTILITIES DAMAGED DURING DEMOLITION AND CONSTRUCTION SHALL BE REPAIRED AND/OR REPLACED IN KIND BY THE CONTRACTOR AT HIS OWN EXPENSE. UTILITY REMOVAL SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE UTILITY COMPANY.
5. ALL OPENINGS IN STORM SEWER STRUCTURES RESULTING FROM PIPE REMOVAL SHALL BE FILLED WITH SEWER BRICK AND MORTAR OR REPLACED, AS DIRECTED BY THE TOWNSHIP ENGINEER.
6. ALL UTILITIES TO BE REMOVED SHALL BE CAPPED AND REPAIRED AS DIRECTED AND/OR REQUIRED BY THE UTILITY OWNER.
7. STORMWATER AND SANITARY LINES, STRUCTURES AND APPURTENANCES SHALL BE REMOVED IN THEIR ENTIRETY.
8. ALL EXISTING MAJOR CONCRETE FOUNDATIONS AND FOOTINGS ARE TO BE DEMOLISHED IN THEIR ENTIRETY. ALL SITE STRUCTURES AND IMPROVEMENTS WITHIN THE CONSTRUCTION FACE AREA SHALL BE REMOVED IN THEIR ENTIRETY, INCLUDING FOUNDATIONS UNLESS NOTED OTHERWISE.
9. TREES TO BE REMOVED SHALL INCLUDE REMOVAL AND DISPOSAL OF TREES AND STUMPS.

LEGEND



ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK.

ALL DOCUMENTS PREPARED BY PENNON ASSOCIATES ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR RELIANCE BY OWNER OR OTHERS ON THE EXTENSIONS OF THE PROJECT OR ON ANY OTHER PROJECT. ANY RELIANCE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY PENNON ASSOCIATES FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO PENNON ASSOCIATE, AND OWNER SHALL INDEMNIFY AND HOLD HARMLESS PENNON ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

CALL BEFORE YOU DIG
 BEFORE YOU DIG ANYWHERE IN PENNSYLVANIA
 CALL 1-800-343-1373
 PA ACT 287 OF 1974 REQUIRES THREE WORKING DAYS NOTICE TO UTILITIES BEFORE YOU EXCAVATE, DRILL OR BLAST PENNSYLVANIA ONE-CALL SYSTEM, INC.

PENNON ASSOCIATES, INC. HAS NOT PERFORMED A VERIFICATION SURVEY TO DETERMINE THE EXISTENCE LOCATION OR TYPE OF ANY UNDERGROUND UTILITY LINES OF A USER, SUCH AS A PUBLIC UTILITY.

ANYONE UTILIZING THESE DRAWINGS FOR CONSTRUCTION IS ADVISED TO CALL 1-800-343-1373 FOR UNDERGROUND UTILITIES PRIOR TO EXCAVATION IN ACCORDANCE WITH PA ACT 287 OF 1974 AS AMENDED.

PA 1-CALL 2014230056 (ABINGTON TOWNSHIP)

No.	Date	Revisions

Seal of the State of Pennsylvania
 State of Pennsylvania
 Department of Public Safety
 State Police
 License No. 0501

Drawn: 0501
 Checked: 0501
 Approved: 0501

Job Number: SMAR2401
 File: Y:\PROJECTS\SMAR2401\PSU STATE UNIVERSITY STUDENT APARTMENTS\DEMOLITION\DEMOLITION.DWG

Date: 04/25/2015

Drawing Set: FINAL MINOR

Drawing Title: DEMOLITION PLAN

Drawing Number: C0.3

**PENNSYLVANIA STATE UNIVERSITY
ABINGTON**
STUDENT APARTMENTS
PSU PROJECT # 00-02841.01

Turner SMP ARCHITECTS
Turner Construction Company
1300 Epping Garden Street, Suite 220
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P: 215 498 8000
www.turnersmp.com

SMP ARCHITECTS
1002 Walnut Street, 2nd Floor
Philadelphia, Pennsylvania 19103
P: 215 695 4410 F: 215 695 4430
www.smparchitects.com

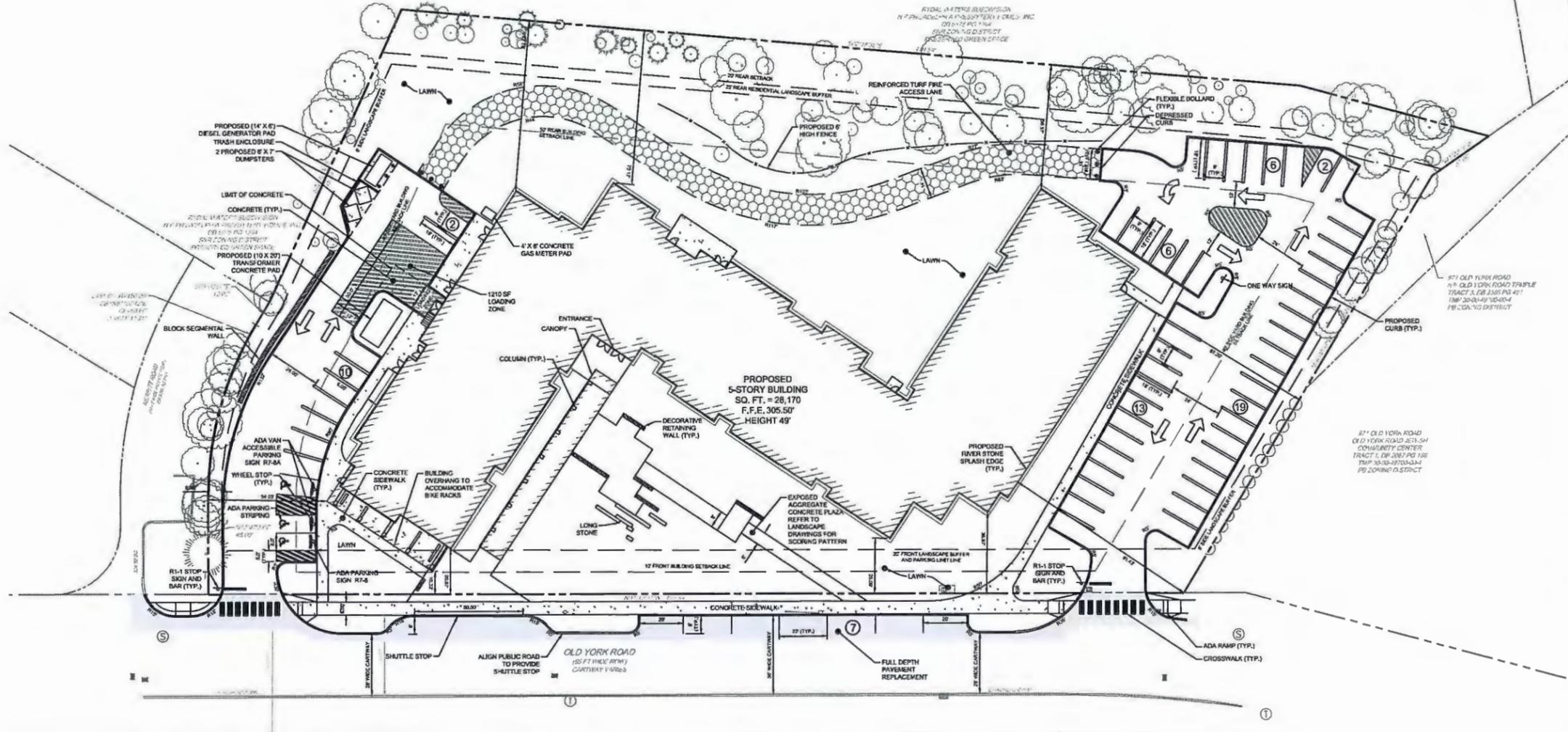
MEP ENGINEER
H.F. Lanz Company
1407 Soady Avenue
Abington, PA 19004
P: 814 289 9300 F: 814 289 9301
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CIVIL ENGINEER
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1305 Main Street, Suite 220
Harrisburg, PA 17108
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LANDSCAPE ARCHITECT
Vivian Landscape Studio
3808 Terrace Street
Philadelphia, PA 19128
P: 215 452 7813 F: 215 482 7878
www.vivianstudio.com

STRUCTURAL ENGINEER
Build Firm LLC
304 Country Club Drive
Wilmington, DE 19803
P: 215 543 7200
www.buildfirm.com

LIGHTING DESIGNER
David Nelson & Associates
5075 S Brycemoor Street
Littleton, CO 80120
P: 303 730 2406 F: 303 484 3230
www.dnlighting.com



- GENERAL NOTES:**
- PROJECT LOCATION
TAS MAP PARCELS #9500 4574-904
1501 OLD YORK ROAD
TOWNSHIP OF ABINGTON
MONTGOMERY COUNTY, PA 19001
 - OWNER/APPLICANT
THE PENNSYLVANIA STATE UNIVERSITY
1815 WOODLAND ROAD
ABINGTON, PA 19001
 - OUTBOUND AND TOPOGRAPHIC INFORMATION OBTAINED FROM A FIELD SURVEY PERFORMED BY PENNON ASSOCIATES, INC. BETWEEN 8/20/24 & 8/21/24.
 - THE DASHES INDICATE THE APPROXIMATE LOCATION OF EXISTING SUBSURFACE UTILITIES IN THE VICINITY OF THE PROJECT, AND ARE NOT GUARANTEED FOR ACCURACY UNLESS COMPLETED PENNSYLVANIA ACT 81 OF 2014 ENTAILED UNDERGROUND UTILITY LINE PROTECTION LAWS. CONTRACTORS SHALL DETERMINE THE LOCATION OF ALL UTILITIES BEFORE COMMENCED CONSTRUCTION. THE CONTRACTOR SHALL ALSO NOTIFY ALL UTILITY PROVIDERS WITHIN THE WORK AREA VIA THE PA ONE CALL SYSTEM, INC. (800-245-1774) A MINIMUM OF 3 WORKING DAYS BEFORE CONSTRUCTION BEGINS.
 - THE SITE IS SERVED BY PUBLIC SEWER.
 - THE SITE IS SERVED BY PUBLIC WATER BY ADA PA.
 - THE SITE IS ZONED PLANNED BUSINESS (PB) DISTRICT, PER THE CURRENT ZONING MAP OF THE TOWNSHIP OF ABINGTON DATED 6/9/2014.
 - HORIZONTAL DATUM IS BASED UPON NORTH AMERICAN HORIZONTAL DATUM OF 1984 (NAD 83).
 - HORIZONTAL DATUM IS BASED UPON THE PENNSYLVANIA STATE PLANE COORDINATE SYSTEM SOUTH ZONE, NORTH AMERICAN DATUM OF 1983 (NAD 83).
 - PENNSYLVANIA ONE CALL SYSTEM, INC. SERIAL NO.2014284058.
 - THE SUBJECT PARCEL IS LOCATED WITHIN FLOOD ZONE X (AREAS DETERMINED TO BE OUTSIDE OF THE 500-YEAR FLOODPLAIN OF THE 1% FLOOD INSURANCE RATE MAP).

LEGEND

	EXISTING RIGHT-OF-WAY / PROPERTY LINE		PROPOSED PROPERTY LINE
	EXISTING CURB		PROPOSED RIGHT-OF-WAY
	EXISTING CONCRETE SIDEWALK		PROPOSED CONCRETE MONUMENT
	EXISTING MANHOLES		SETBACK LINE
	EXISTING VALVES		PROPOSED EASEMENT
	EXISTING STORM SEWER INLET		PROPOSED BUILDING
	EXISTING ROOF DRAIN		PROPOSED SIDEWALK
	EXISTING SIGN		PROPOSED EXPOSED AGGREGATE CONCRETE
	EXISTING FIRE HYDRANT		PROPOSED CORE STRIPPING
	EXISTING GASESE FIRE CONNECTION		PROPOSED RIVER STONE SPLASH EDGE
	EXISTING UTILITY POLE WITH GUY WIRES		PROPOSED REINFORCED TURF FIRE ACCESS LANE
	EXISTING UTILITY POLE		PROPOSED FENCE
	EXISTING LIGHT POLE		PROPOSED DEPRESSURE CURB
	EXISTING ELECTRICAL JUNCTION BOX		PROPOSED DECORATIVE WALL
	EXISTING TREE		PROPOSED BLOCK SEGMENTAL WALL
			PROPOSED BUILDING OVERHANG
			PROPOSED BIKE RACK
			PROPOSED PARKING COUNT
			PROPOSED FLEXIBLE BOLLARD
			PROPOSED STREET LIGHT
			PROPOSED SIGN
			PROPOSED FULL DEPTH PAVEMENT RESTORATION

OWNER'S CERTIFICATION
COMMONWEALTH OF PENNSYLVANIA COUNTY OF MONTGOMERY
ON THE _____ DAY OF _____ A.D. 20____ BEFORE ME,
THE SUBSCRIBER, A NOTARY PUBLIC OF THE COMMONWEALTH OF PENNSYLVANIA,
RESIDING IN _____ PERSONALLY APPEARED
ACKNOWLEDGED (HIMSELF) AS BEING THE PRESIDENT OR SECRETARY, BEING
AUTHORIZED TO DO SO, (HE/SHE) EXECUTED THE FOREGOING PLAN BY SIGNING THAT
SAID CORPORATION IS THE OWNER OF THE DESCRIBED LAND, THAT ALL NECESSARY
APPROVAL OF THE PLAN HAS BEEN OBTAINED AND IS ENDORSED THEREON AND THAT
SAID CORPORATION DESIRES THAT THE FOREGOING PLAN BE DULY RECORDED.

NOTARY PUBLIC _____ BY COMMISSION EXPIRES _____

TOWNSHIP SIGNATURES
APPROVED BY THE BOARD OF COMMISSIONERS OF THE TOWNSHIP OF ABINGTON
THIS _____ DAY OF _____ 20____
PRESIDENT _____
SECRETARY _____
CLERK _____
ATTEST _____
CERTIFIED BY THE MONTGOMERY COUNTY PLANNING COMMISSION THIS _____ DAY OF _____ 20____
FILE NO. _____

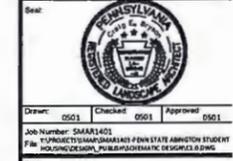
PLANNING COMMISSION
RECEIVED BY THE MONTGOMERY COUNTY PLANNING COMMISSION
THIS _____ DAY OF _____ 20____
RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF MONTGOMERY COUNTY
AT HARRISBURG, PENNSYLVANIA IN PLAN BOOK _____ PAGE _____
ON THE _____ DAY OF _____ 20____
COMMONWEALTH OF PENNSYLVANIA
COUNTY OF MONTGOMERY'S _____
BEFORE ME _____
THE UNDERSIGNED OFFICER, PERSONALLY APPEARED _____

KNOW ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THIS INSTRUMENT
AND ACKNOWLEDGE THAT THE SET LINE THEREON SHOWN ON THIS PLAN HAS MADE
WITH MY FREE CONSENT AND THAT IT IS DESIRED TO RECORD SAME.
IN WITNESS WHEREOF, I HERETO SET MY HAND AND OFFICIAL SEAL.

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER
MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING
WITH WORK.

ALL DOCUMENTS PREPARED BY PENNON ASSOCIATES ARE
INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE
NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY
OWNER OR OTHERS ON THE EXTENSIONS OF THE PROJECT OR ON ANY
OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION OR
ADAPTATION BY PENNON ASSOCIATES FOR THE SPECIFIC PURPOSE
INTENDED WILL BE AT OWNERS SOLE RISK AND WITHOUT LIABILITY OR
LEGAL EXPOSURE TO PENNON ASSOCIATE, AND OWNER SHALL
INDEMNIFY AND HOLD HARMLESS PENNON ASSOCIATES FROM ALL
CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR
RESULTING THEREFROM.

No.	Date	Revisions



Drawn: 0501 Checked: 0501 Approved: 0501
Job Number: 24081401
File: 13PROJECTS\SMARCHITECT\PSU\STATE ABINGTON STUDENT APARTMENTS\DESIGN\PSU\SMARCHITECT\REVISIONS.DWG
Date: 02/25/2025

Drawing Set: FINAL MINOR
Drawing Title: SITE PLAN

Drawing Number: C1.0

Project Team:
Turner SMP ARCHITECTS

Turner Construction Company
1300 Spring Garden Street, Suite 220
Philadelphia, Pennsylvania 19130
p. 215 498 8600
www.turnerconstruction.com

SMP Architects
1800 Walnut Street, 2nd Floor
Philadelphia, Pennsylvania 19103
p. 215 985 4410 f. 215 985 4430
www.smparchitects.com

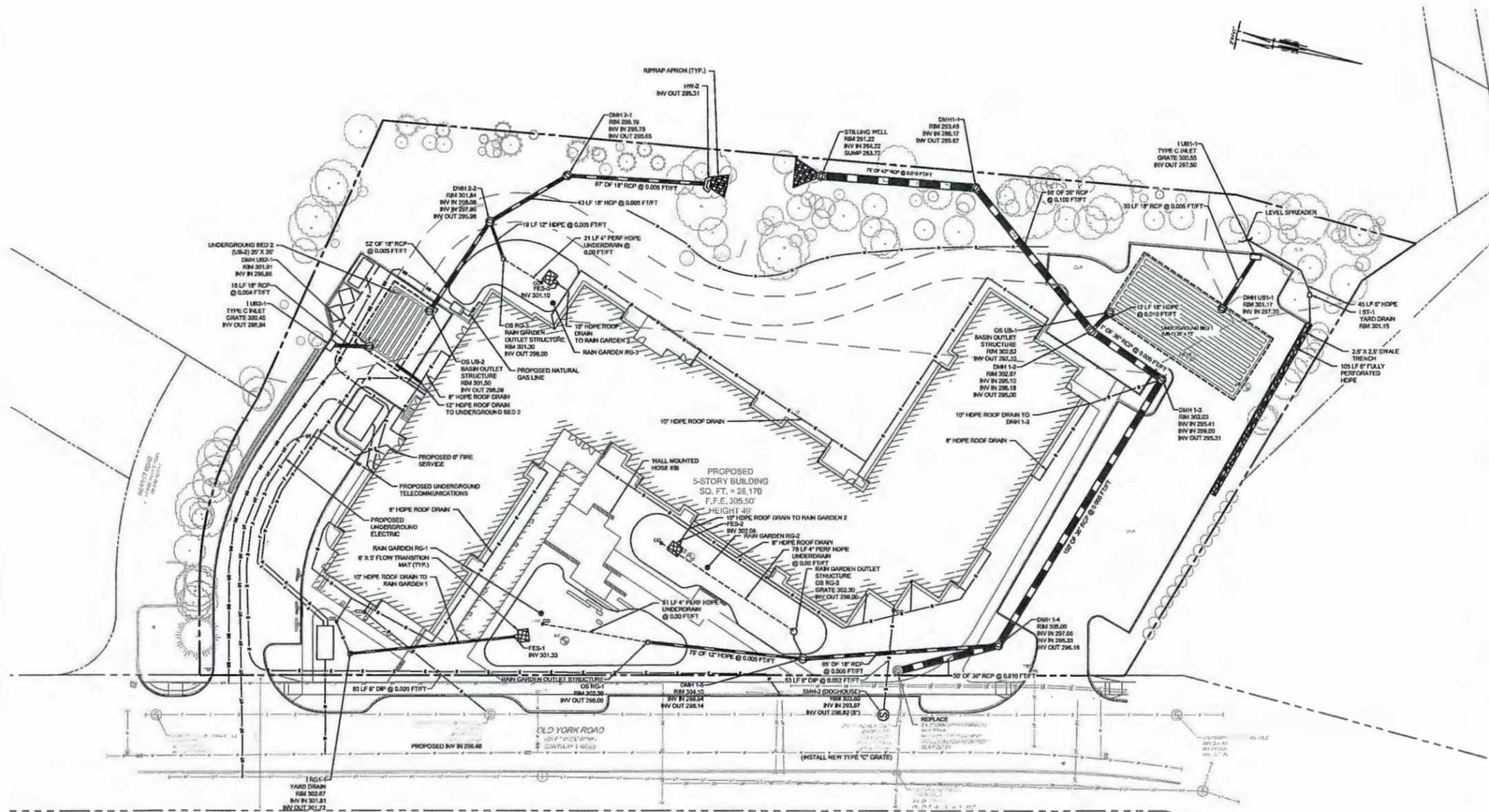
MEP ENGINEER
H.F. Land Company
1407 Scale Avenue
Johnstown, PA 15004
p. 814 269 9200 f. 814 269 9301
www.hfland.com

CIVIL ENGINEER
Pennoni Associates Inc.
1500 Main Street, Suite 220
Warrington, PA 18978
p. 215 345 4201 f. 215 545 7855
www.pennoni.com

LANDSCAPE ARCHITECT
Vivian Landscape Studio
3096 Terrace Street
Philadelphia, PA 19129
p. 215 482 7873 f. 215 482 7878
www.vivianstudio.com

STRUCTURAL ENGINEER
Bull Form LLC
304 Country Club Drive
Wilmington, DE 19803
p. 215 545 7200
www.bullform.com

LIGHTING DESIGNER
Dover Nelson & Associates
3075 S. Eisenhower Avenue
Littleton, CO 80120
p. 303 730 2414 f. 303 484 3200
www.dnlighting.com



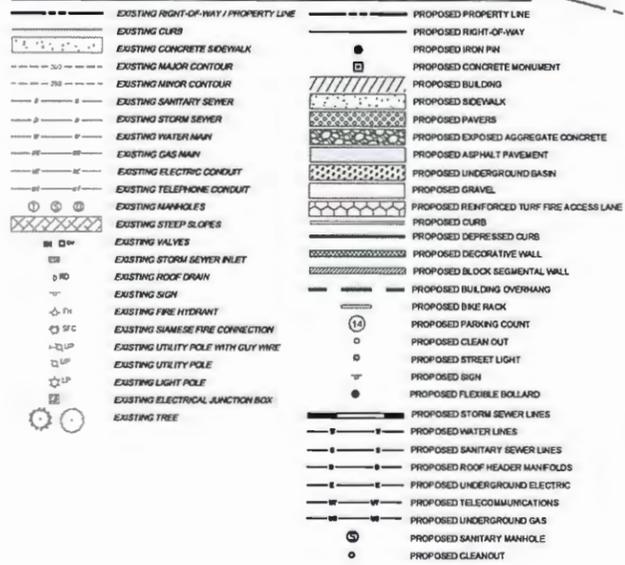
GENERAL NOTES:

- PROJECT LOCATION:
TAX MAP PARCEL: 430-00-49704-00-9
1001 OLD YORK ROAD
TOWNSHIP OF ABINGTON
MONTGOMERY COUNTY, PA 19001
- OWNER/APPLICANT:
THE PENNSYLVANIA STATE UNIVERSITY
1600 MONROE AND ROAD
ABINGTON, PA 19001
- OUTBOUND AND TOPOGRAPHIC INFORMATION OBTAINED FROM A FIELD SURVEY PERFORMED BY PENNONI ASSOCIATES, INC. BETWEEN 8/26/2014 & 8/27/2014, & ON 8/27/2014.
- THE DRAWINGS INDICATE THE APPROXIMATE LOCATION OF EXISTING SUBSURFACE UTILITIES IN THE VICINITY OF THE PROJECT, AND ARE NOT GUARANTEED FOR ACCURACY AND/OR COMPLETENESS. PENNSYLVANIA ACT 287 OF 1974 ENTITLED "UNDERGROUND UTILITY LINE PROTECTION LAWS" REQUIRES THAT THE CONTRACTOR DETERMINE THE LOCATION OF ALL UTILITIES BEFORE COMMENCING CONSTRUCTION. THE CONTRACTOR SHALL ALSO NOTIFY ALL UTILITY PROVIDERS WITHIN THE WORK AREA VIA THE PA ONE CALL SYSTEM, INC. (800-363-3779) A MEMBER OF 3 WORKING DAYS BEFORE CONSTRUCTION BEGINS.
- THE SITE IS SERVICED BY PUBLIC SEWER.
- THE SITE IS SERVICED BY PUBLIC WATER BY AQUA PA.
- THE SITE IS ZONED PLANNED BUSINESS (PB) DISTRICT, FOR THE CURRENT ZONING MAP OF THE TOWNSHIP OF ABINGTON DATED 6/19/2014.
- VERTICAL DATUM IS BASED UPON NORTH AMERICAN VERTICAL DATUM OF 1985 (NAVD 85).
- HORIZONTAL DATUM IS BASED UPON THE PENNSYLVANIA STATE PLANE COORDINATE SYSTEM SOUTH ZONE, NORTH AMERICAN DATUM OF 1983 (NAD 83).
- PENNSYLVANIA ONE CALL SYSTEM, INC. SERIAL NO 2014240543
- THE SUBJECT PARCEL IS LOCATED WITHIN FLOOD ZONE 1 UNLESS DETERMINED TO BE OUTSIDE OF THE 100-YEAR FLOODPLAIN OF THE FEMA FLOOD INSURANCE RATE MAPS.

UTILITY NOTES:

- ALL PIPE LENGTHS AND DIMENSIONS BETWEEN STRUCTURES ARE MEASURED FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE ALONG A HORIZONTAL PLANE.
- ALL STORM DRAINAGE PIPE SHALL BE Laid ON 800X180 CONTIGUOUS GRADES WITH NO VISIBLE JOINTS AT CORNERS.
- BEDDING REQUIREMENTS SPECIFIED HEREIN ARE TO BE CONSIDERED AS MINIMUMS FOR RELATIVELY DRY, STABLE SOIL CONDITIONS. ADDITIONAL BEDDING SHALL BE REQUIRED FOR ROCKY OR SOFT AREAS. CONTRACTOR SHALL HAVE THE RESPONSIBILITY TO PROVIDE SUCH ADDITIONAL BEDDING AS MAY BE REQUIRED TO PROPERLY CONSTRUCT THE WORK.
- CONNECTION OF THE BENCH MARKS OF ALL TRENCHES SHALL BE CONTACTED TO THE CUSTODY OF THE OWNER OR THE STATE DEPARTMENT OF TRANSPORTATION. SUGGESTED DATUM SHALL BE FROM BENCH MARK STATION, OR OTHER TRENCH BENCH MARK SHALL BE PLACED IN LEFT SHOULDER TO EXCEED 6 INCHES IN COMPACTED FILL. THE EXISTING CHANGELINE FOR BENCH MARKS SHALL BE IDENTIFIED BY THE PUBLIC WORKS DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE TO RE-INSTALL BENCH MARKS WITHIN A YEAR FROM THE DATE OF APPROVAL, WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR SHALL MAINTAIN POSITIVE AND ADEQUATE DRAINAGE AS WARRANTED AT ALL TIMES WITHIN THE PROJECT LIMITS. THIS MAY INCLUDE, BUT NOT BE LIMITED TO, REDUCTION OR RECONSTRUCTION OF EXISTING DRAINAGE STRUCTURES THAT HAVE BEEN DAMAGED OR REMOVED OR RELOCATED AS REQUIRED BY THE OWNER. EXCEPT FOR THOSE DRAINAGE STRUCTURES SHOWN AS SPECIFIC LOCATIONS AND HAVING SPECIFIC NOTICES IN THE DRAWINGS, ESTIMATION OF THE CONTRACTOR TO REPAIR AND REPLACE ANY AND ALL DAMAGE MADE TO UTILITIES BY THE CONTRACTOR.
- THE CONTRACTOR SHALL COORDINATE LOCATION AND INSTALLATION OF ALL UNDERGROUND UTILITIES AND APPURTENANCES TO MINIMIZE INTERFERENCE TO EXISTING, PAVED, AND UNPAVED SURFAGE.
- CONTRACTOR SHALL EXCAVATE ONLY AS MUCH TRENCH WHICH PIPE CAN BE INSTALLED AND TRENCH BACKFILL BY THE END OF EACH WORK DAY.
- ALL UNDERGROUND UTILITY TRENCHES SHALL BE BACKFILLED WITH SAFE CLEAN FILL.
- FLOW PRESSURE TO ALL FIRE HYDRANTS SHALL HAVE MINIMUM 800 GALLONS PER MINUTE AT A MINIMUM RESIDUAL PRESSURE OF 20 POUNDS PER SQUARE INCH.
- ALL TRENCHES SHALL BE PROPERLY BEGINS AND ENDS.
- ALL EXISTING CATCHES AND INLET TOPS FOR GRATES MUST BE ADJUSTED TO THE PROPOSED GRADE UNLESS OTHERWISE INDICATED.

LEGEND



ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK.

ALL DOCUMENTS PREPARED BY PENNONI ASSOCIATES ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON THE EXTENSIONS OF THE PROJECT OR ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY PENNONI ASSOCIATES FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO PENNONI ASSOCIATE, AND OWNER SHALL INDEMNIFY AND HOLD HARMLESS PENNONI ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.



CALL BEFORE YOU DIG
BEFORE YOU DIG ANYWHERE IN PENNSYLVANIA
CALL 1-800-248-1778
PA ACT 287 OF 1974 REQUIRES THREE WORKING DAYS NOTICE TO UTILITIES BEFORE YOU EXCAVATE, DRILL OR BLAST PENNSYLVANIA ONE-CALL SYSTEM, INC.

PENNONI ASSOCIATES INC. HAS NOT PERFORMED A VERIFICATION SURVEY TO DETERMINE THE EXISTENCE LOCATION OR TYPE OF ANY UNDERGROUND UTILITY LINES OF A USER, SUCH AS A PUBLIC UTILITY. ANYONE UTILIZING THESE DRAWINGS FOR CONSTRUCTION IS ADVISED TO CALL 1-800-248-1778 FOR UNDERGROUND UTILITIES PRIOR TO EXCAVATION IN ACCORDANCE WITH PA. ACT 287 OF 1974 AS AMENDED PA 1-CALL 2014240543 (ABINGTON TOWNSHIP)

No.	Date	Revisions

Seal of the Commonwealth of Pennsylvania, featuring a shield with a plow and a sheaf of wheat, surrounded by the text 'COMMONWEALTH OF PENNSYLVANIA' and '1776'.

Drawn: 0501 Checked: 0501 Approved: 0501
Job Number: SMAAR1403
File: T:\PROJECTS\00-02841\01\PSU STATE ABINGTON STUDENT APARTMENTS_PENNONI ASSOCIATES INC.DWG
Date: 06/23/2015

Drawing Set: **FINAL MINOR**

Drawing Title: **UTILITY PLAN**

Drawing Number: **C5.0**

**PENNSYLVANIA
STATE UNIVERSITY
ABINGTON**
**STUDENT
APARTMENTS**
PSU PROJECT # 00-02841.01

Project Team
Turner SMP ARCHITECTS

Turner Construction Company
1500 Epping Garden Street, Suite 200
Philadelphia, Pennsylvania 19130
P: 215 498 0000
www.turnerconstruction.com

SMP Architects
1800 Walnut Street, 2nd Floor
Philadelphia, Pennsylvania 19103
P: 215 988 4410 F: 215 982 8420
www.smparchitects.com

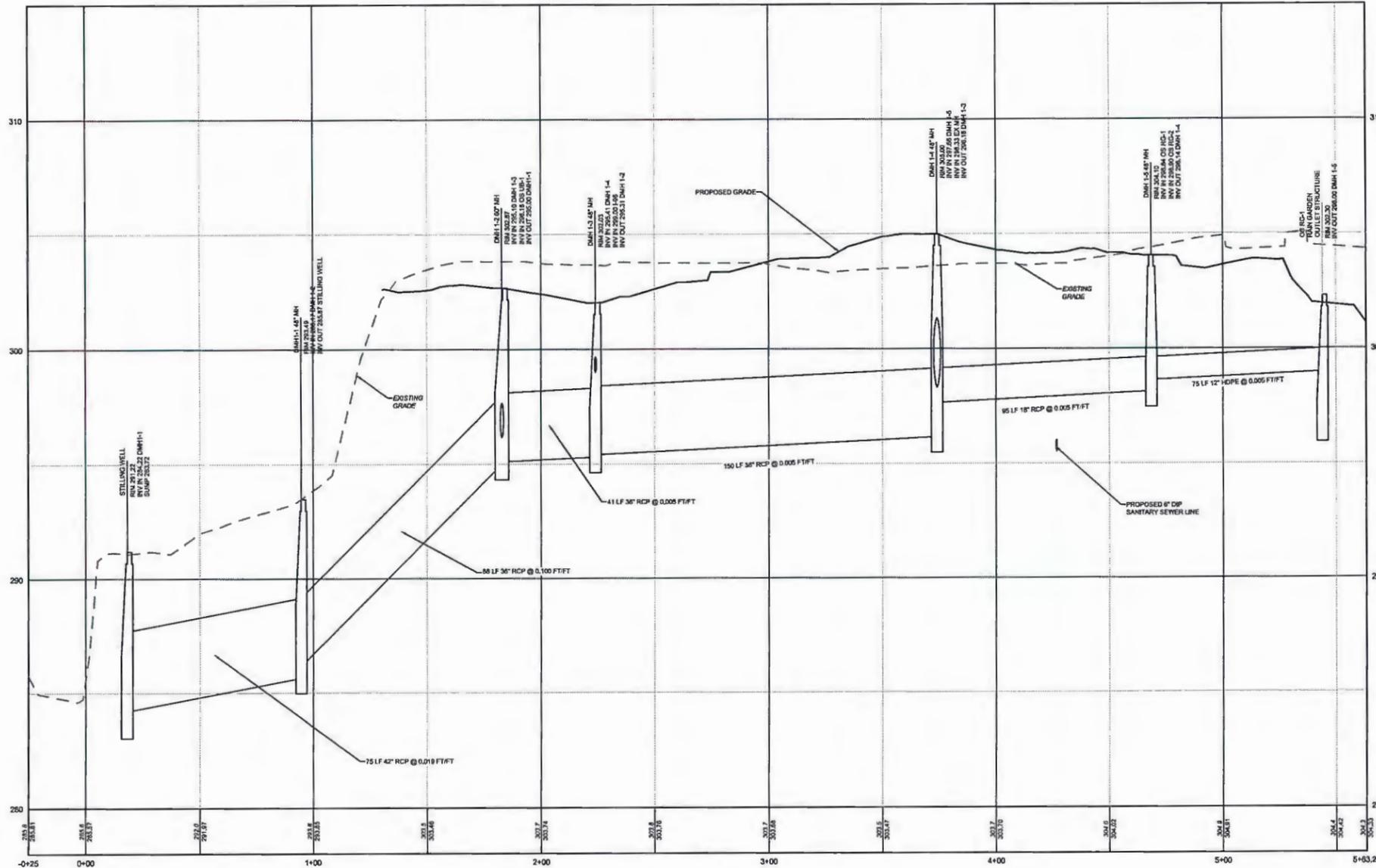
MEP ENGINEER
H.F. Lenz Company
1407 Brady Avenue
Johnstown, PA 15004
P: 814 289 9200 F: 814 289 8001
www.hfenz.com

CIVIL ENGINEER
Pensacola Associates Inc.
1305 Main Street, Suite 200
Wilmington, PA 19370
P: 215 945 4581 F: 215 345 7853
www.pensacola.com

LANDSCAPE ARCHITECT
Vivian Landscapes Studio
3588 Terrace Street
Philadelphia, PA 19128
P: 215 652 7973 F: 215 432 7978
www.vivianland.com

STRUCTURAL ENGINEER
Built Form LLC
304 Country Club Drive
Wilmington, DE 19803
P: 215 344 7205
www.builtform.com

LIGHTING DESIGNER
David Hanson & Associates
2075 S. Sepulveda Street
Littman, CO 80120
P: 303 730 2456 F: 303 684 3230
www.dhansong.com



OS RG-1 TO STILLWELL
HORIZONTAL SCALE: 1" = 20'
VERTICAL SCALE: 1" = 2'



CALL BEFORE YOU DIG
BEFORE YOU DIG ANYWHERE IN PENNSYLVANIA
CALL 1-800-348-1778
PA ACT 287 OF 1974 REQUIRES THREE WORKING DAYS
NOTICE TO UTILITIES BEFORE YOU EXCAVATE, DRILL OR
BLAST PENNSYLVANIA ONE-CALL SYSTEM, INC.

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SURVEY TO DETERMINE THE EXISTENCE, LOCATION OR TYPE OF ANY
UNDERGROUND UTILITY LINES OF A USER, SUCH AS A PUBLIC UTILITY.
ANYONE UTILIZING THESE DRAWINGS FOR CONSTRUCTION IS ADVISED
TO CALL 1-800-242-1778 FOR UNDERGROUND UTILITIES PRIOR TO
EXCAVATION IN ACCORDANCE WITH PA ACT 287 OF 1974 AS AMENDED.
PA 1-CALL# 701-423-6246 (ABINGTON TOWNSHIP)



ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER
MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING
WITH WORK

ALL DOCUMENTS PREPARED BY PENNONI ASSOCIATES ARE
INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE
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OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION OR
ADAPTATION BY PENNONI ASSOCIATES FOR THE SPECIFIC PURPOSE
INTENDED WILL BE AT OWNERS SOLE RISK AND WITHOUT LIABILITY OR
LEGAL EXPOSURE TO PENNONI ASSOCIATE, AND OWNER SHALL
INDEMNIFY AND HOLD HARMLESS PENNONI ASSOCIATES FROM ALL
CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR
RESULTING THEREFROM.

No.	Date	Revisions

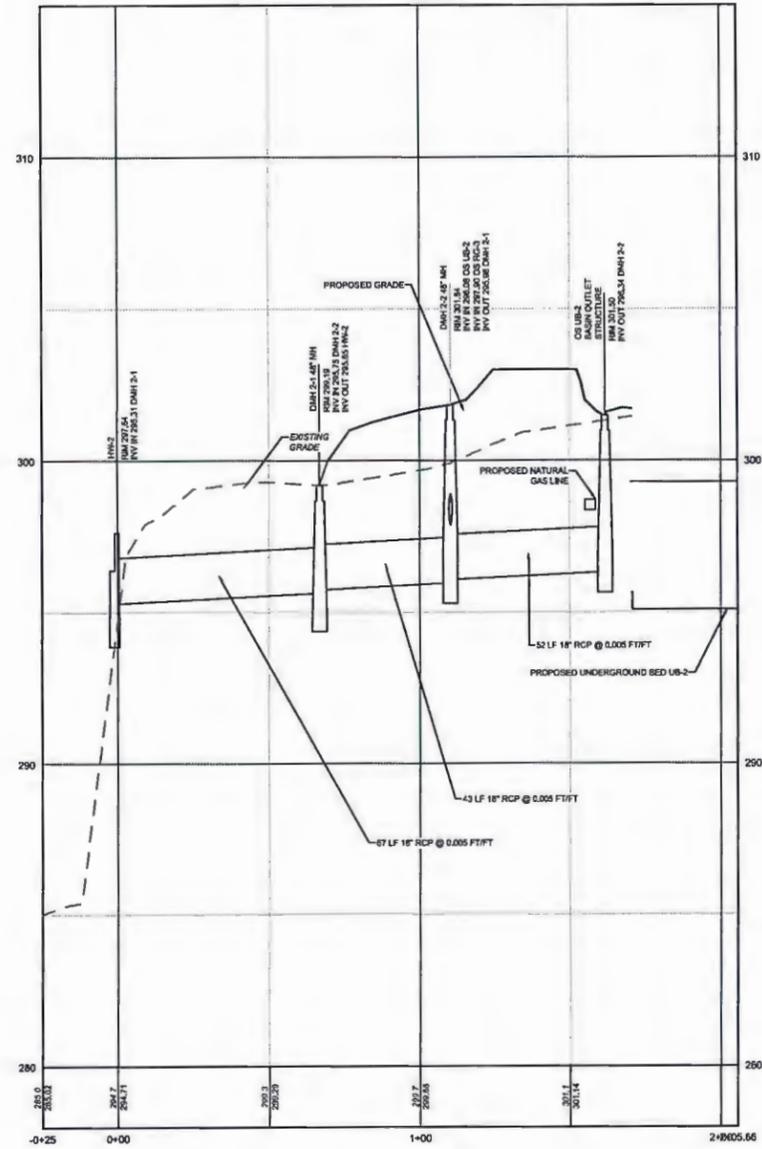
Seal

Drawn: 0501 Checked: 0501 Approved: 0501
Job Number: 00A01401
File: P:\PROJECTS\SMP\00A01401\PSU STATE ABINGTON STUDENT APARTMENTS\UTILITY\OS RG-1 TO STILLWELL.dwg
Date: 06/25/2015

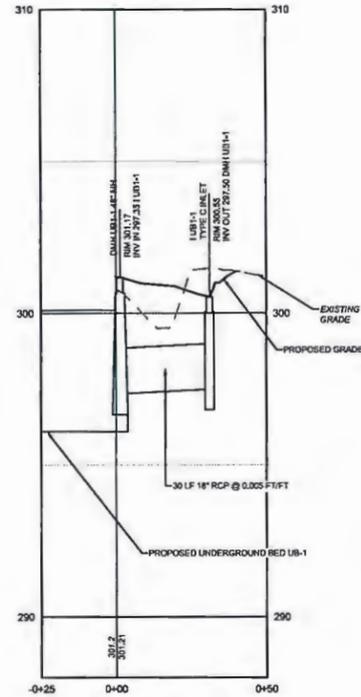
Drawing Set: FINAL MINOR

Drawing Title: UTILITY PROFILES

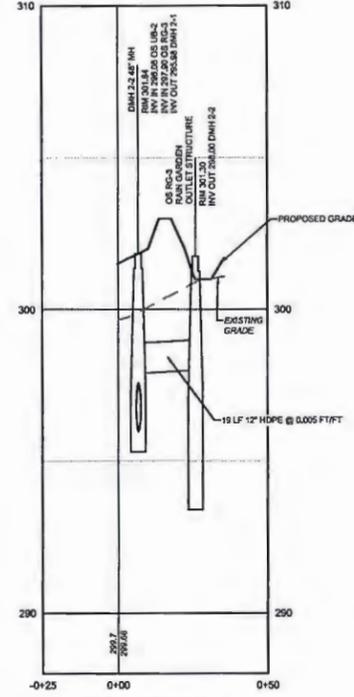
Drawing Number: C5.5



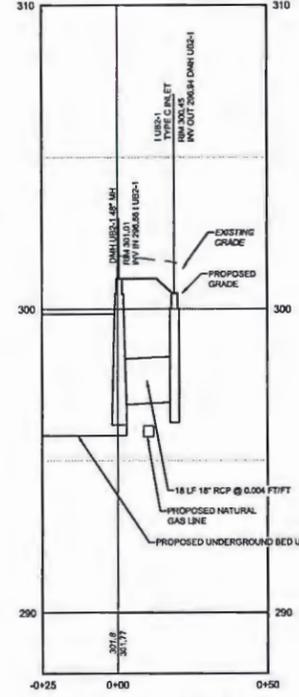
OS UB-2 TO HW-2
HORIZONTAL SCALE: 1" = 20'
VERTICAL SCALE: 1" = 2'



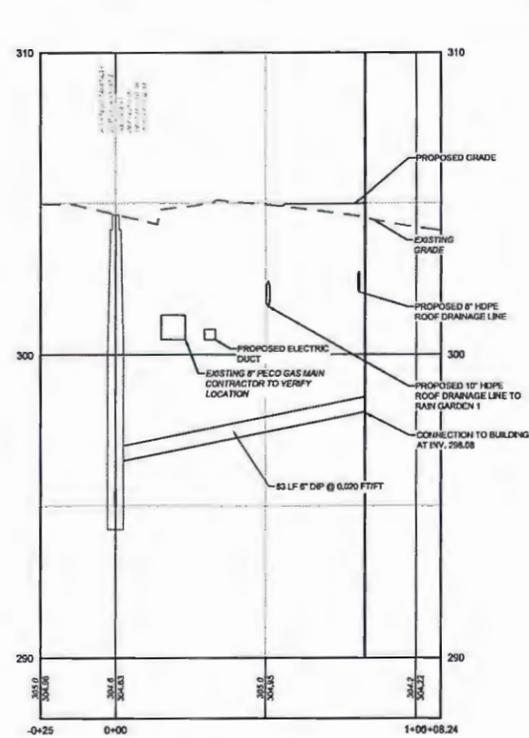
IUB1-1 TO DMH UB1-1 3+00
HORIZONTAL SCALE: 1" = 20'
VERTICAL SCALE: 1" = 2'



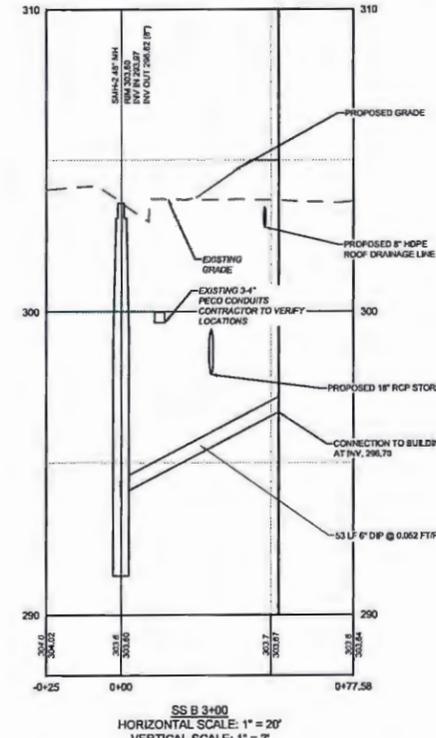
OS RG-3 TO DMH 2-2 3+00
HORIZONTAL SCALE: 1" = 20'
VERTICAL SCALE: 1" = 2'



IUB2-1 TO DMH UB2-1 3+00
HORIZONTAL SCALE: 1" = 20'
VERTICAL SCALE: 1" = 2'



SS A 3+00
HORIZONTAL SCALE: 1" = 20'
VERTICAL SCALE: 1" = 2'



SS B 3+00
HORIZONTAL SCALE: 1" = 20'
VERTICAL SCALE: 1" = 2'

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CALL BEFORE YOU DIG
BEFORE YOU DIG ANYWHERE IN PENNSYLVANIA
CALL 1-800-345-4778
PA ACT 287 OF 1974 REQUIRES THREE WORKING DAYS
NOTICE TO UTILITIES BEFORE YOU DIG ANYTIME, DRILL OR
BLAST PENNION ASSOCIATES, INC.

PENNION ASSOCIATES INC. HAS NOT PERFORMED A VERIFICATION SURVEY TO DETERMINE THE EXISTENCE, LOCATION OR TYPE OF ANY UNDERGROUND UTILITY LINES OF A USER, SUCH AS A PUBLIC UTILITY. ANYONE UTILIZING THESE DRAWINGS FOR CONSTRUCTION IS ADVISED TO CALL 1-800-345-4778 FOR UNDERGROUND UTILITIES PRIOR TO EXCAVATION IN ACCORDANCE WITH PA. ACT 287 OF 1974 AS AMENDED. PA 1-CALL# 201-423-6246 (ABINGTON TOWNSHIP)

PENNSYLVANIA STATE UNIVERSITY ABINGTON
STUDENT APARTMENTS
PSU PROJECT # 00-02841.01

- Project Team:**
- Turner SMP ARCHITECTS**
Turner Construction Company
1100 Spring Garden Street, Suite 220
Philadelphia, Pennsylvania 19130
P: 215 486 5800
www.turnersmp.com
 - SMP ARCHITECTS**
1800 Walnut Street, 2nd Floor
Philadelphia, Pennsylvania 19103
P: 215 955 4410 F: 215 955 4430
www.smparchitects.com
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1407 South Avenue
Johnstown, PA 15104
P: 814 298 8300 F: 814 298 8301
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1505 Main Street, Suite 220
Wilmington, PA 19870
P: 215 343 4581 F: 215 343 7853
www.pennoni.com
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Philadelphia, PA 19129
P: 215 482 7971 F: 215 482 7979
www.vindler.com
 - STRUCTURAL ENGINEER**
Bull Farm LLC
304 Country Club Drive
Wilmington, DE 19803
P: 215 545 7250
www.bullfarm.com
 - LIGHTING DESIGNER**
David Nelson & Associates
3575 S Englewood Street
Littleton, CO 80120
P: 303 730 2456 F: 303 484 3230
www.dnabj.com

No.	Date	Revisions

Seal of the Commonwealth of Pennsylvania, Department of Environmental Protection.

Drawn: 0501 Checked: 0501 Approved: 0501

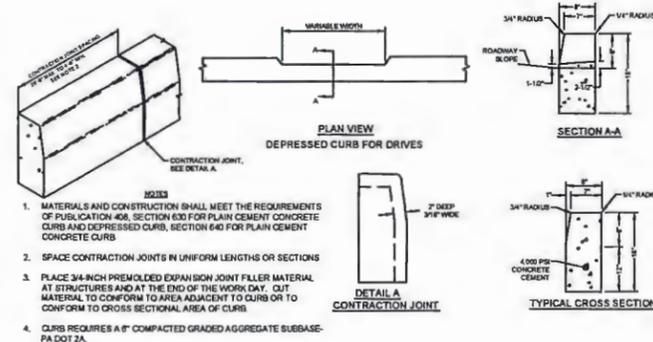
Job Number: SMAA1401
File: H:\PROJECTS\SMAA\04\02\01\PSU\STUDENT APARTMENTS\UTILITY PROFILES\UTILITY PROFILES.dwg

Date: 02/25/2015

Drawing Set: FINAL MINOR

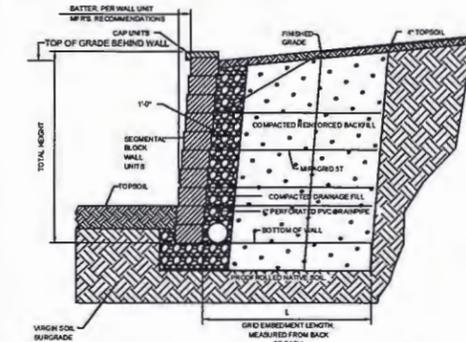
Drawing Title: UTILITY PROFILES

Drawing Number: C5.6



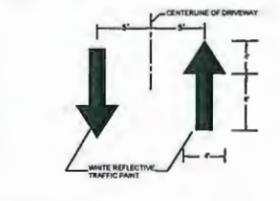
- MATERIALS AND CONSTRUCTION SHALL MEET THE REQUIREMENTS OF PUBLICATION 408, SECTION 630 FOR PLAIN CEMENT CONCRETE CURBS AND DEPRESSED CURBS, SECTION 640 FOR PLAIN CEMENT CONCRETE CURBS.
- SPACE CONTRACTION JOINTS IN UNIFORM LENGTHS OR SECTIONS.
- PLACE 3/4-INCH PREMOLD EXPANSION JOINT FILLER MATERIAL AT STRUCTURES AND AT THE END OF THE WORK DAY. CUT MATERIAL TO CONFORM TO AREA ADJACENT TO CURB OR TO CONFORM TO CROSS SECTIONAL AREA OF CURB.
- CURB REQUIRES A 6\"/>

DETAIL - STANDARD CONCRETE CURB DETAIL
N.T.S.

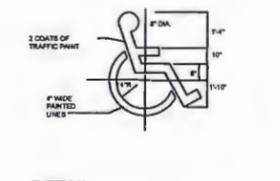


- ALL FILL MATERIALS SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER.
- ALL GEGRID RETAINING WALLS SHALL BE CONSTRUCTED IN STRICT COMPLIANCE WITH THE GEGRID RETAINING WALL MANUFACTURER'S, ENGINEER'S AND SUPPLIER'S RECOMMENDATIONS AND SPECIFICATIONS.
- COMPLETE SHOP DRAWINGS, SIGNED AND SEALED BY AN ENGINEER REGISTERED IN THE STATE OF PENNSYLVANIA, MUST BE SUBMITTED TO THE MUNICIPALITY FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.

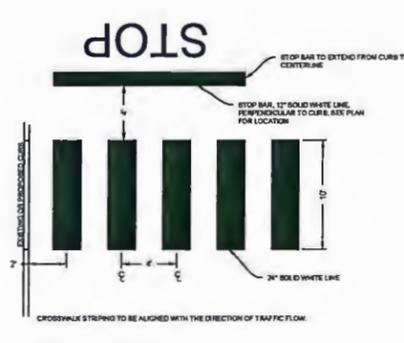
DETAIL - SEGMENTAL BLOCK RETAINING WALL
N.T.S.



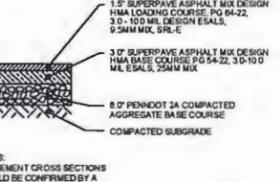
DETAIL - DIRECTIONAL ARROW
N.T.S.



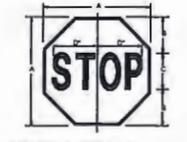
DETAIL - HANDICAP SYMBOL
N.T.S.



DETAIL - PAINTED PAVEMENT MARKINGS
N.T.S.



DETAIL - PAVEMENT CROSS SECTION
N.T.S.

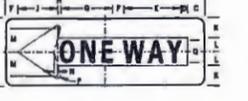


ALL SIGNS SHALL BE ON PENNDOT BREAKAWAY POSTS, AND ALL MATERIALS USED MUST COMPLY WITH PENNDOT PUB 408, MOST CURRENT EDITION.

SIGN SIZE	DIMENSIONS - mm (IN)				BLANK STD
	A x B	C	D	BLANK STD	
R2 x R2 (30\"/>					

COLOR:
LEGEND AND BORDER:
WHITE (REFLECTORIZED)
BLACK (REFLECTORIZED)
RED (REFLECTORIZED)

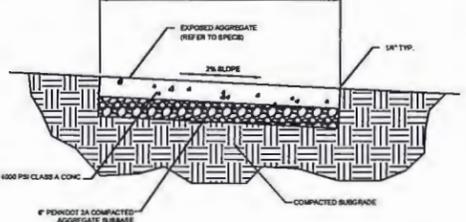
DETAIL - STOP SIGN R1-1 (30\"/>



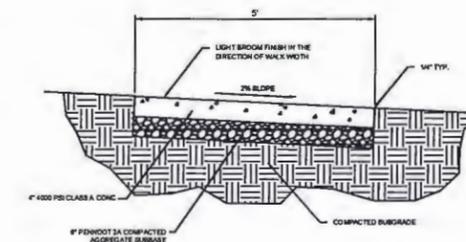
SIGN SIZE	DIMENSIONS - IN											BLANK STD
	A	B	C	D	E	F	G	H	I	J	K	
10\"/>												

* REDUCE SPACING 30%

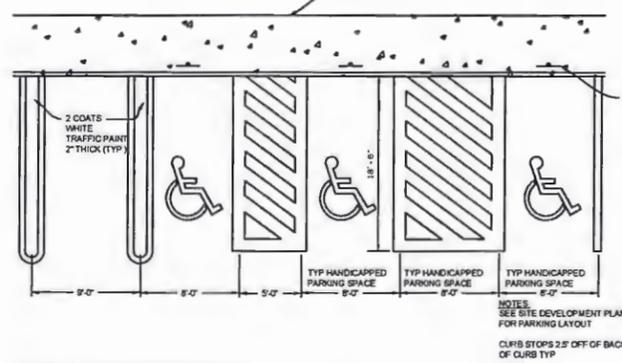
DETAIL - ONE WAY SIGN
N.T.S.



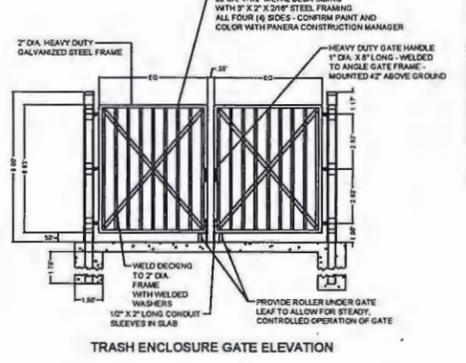
DETAIL - EXPOSED AGGREGATE CONCRETE SIDEWALK SECTION
N.T.S.



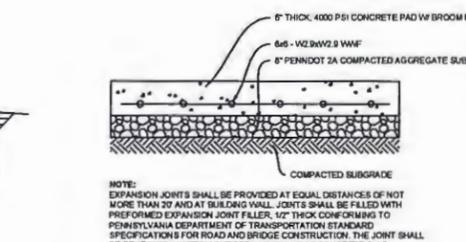
DETAIL - CONCRETE SIDEWALK CROSS SECTION
N.T.S.



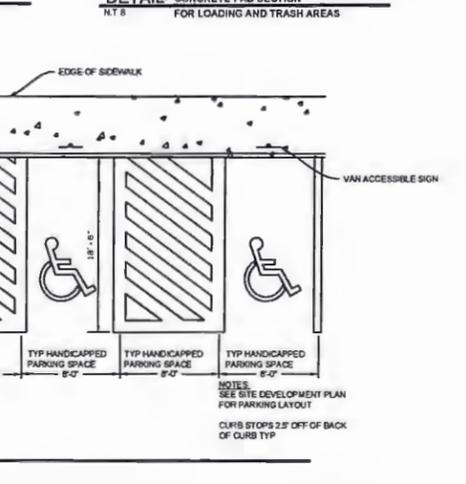
DETAIL - PARKING STALL DELINEATION
N.T.S.



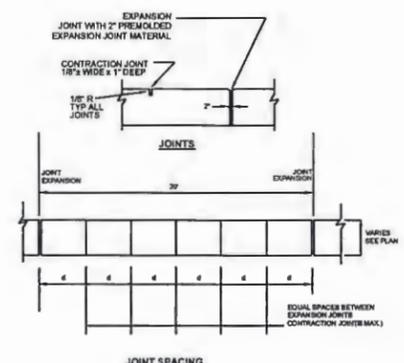
DETAIL - TRASH ENCLOSURE
N.T.S.



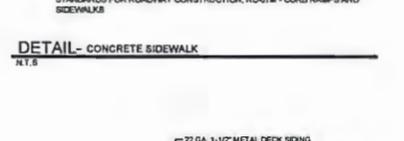
DETAIL - CONCRETE PAD SECTION FOR LOADING AND TRASH AREAS
N.T.S.



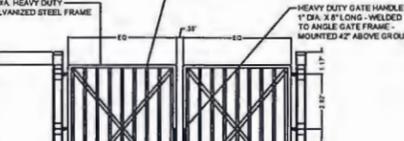
DETAIL - HANDICAPPED PARKING SIGN R7-8A WITH VAN ACCESSIBLE SIGN
N.T.S.



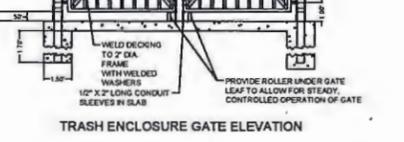
DETAIL - CONCRETE SIDEWALK
N.T.S.



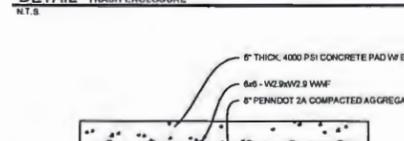
DETAIL - BOLLARD
N.T.S.



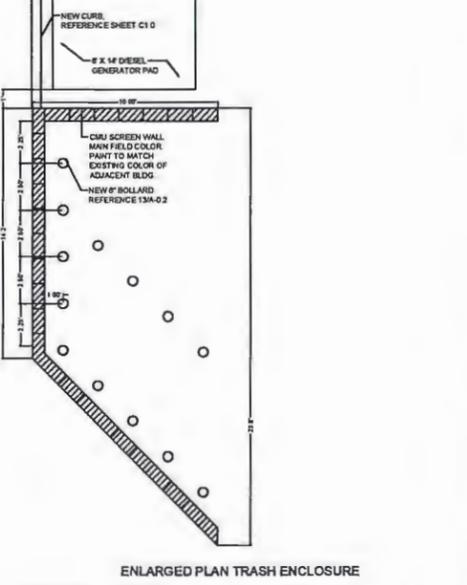
DETAIL - BREAKAWAY BOLLARD
N.T.S.



DETAIL - JOINTS
N.T.S.



DETAIL - JOINT SPACING
N.T.S.



ENLARGED PLAN TRASH ENCLOSURE
N.T.S.

PENNSYLVANIA STATE UNIVERSITY ABINGTON
STUDENT APARTMENTS
PSU PROJECT # 00-02841.01

Project Team:
Turner SMP ARCHITECTS

Turner Construction Company
1500 Spring Garden Street, Suite 220
Philadelphia, Pennsylvania 19130
P: 215 495 8800
www.turnerconstruction.com

SMP Architects
1800 Walnut Street, 2nd Floor
Philadelphia, Pennsylvania 19103
P: 215 955 4412 | F: 215 955 4430
www.smparchitects.com

MFP ENGINEER
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Warrington, PA 18978
P: 610 285 9300 | F: 610 285 9301
www.mfpc.com

CIVIL ENGINEER
Purmon Associates Inc.
1502 Main Street, Suite 220
Warrington, PA 18978
P: 215 545 4551 | F: 215 545 7853
www.purmon.com

LANDSCAPE ARCHITECT
Vidian Landscape Studio
2809 Temco Drive
Philadelphia, PA 19128
P: 215 452 7973 | F: 215 452 7976
www.vidian.com

STRUCTURAL ENGINEER
Sied Form LLC
304 Country Club Drive
Warrington, PA 18978
P: 215 545 7305
www.siedform.com

LIGHTING DESIGNER
David Nelson & Associates
3575 S Spangman Street
Littleton, CO 80120
P: 303 735 2454 | F: 303 484 3230
www.dnlighting.com

No.	Date	Revisions



Drawn: 0501 Checked: 0501 Approval: 0501
Job Number: SMAR2401
File: 11/15/2015 10:00 AM (10:00 AM) PENN STATE ABINGTON STUDENT HOUSING DESIGN, PUBLISHED/SCHEMATIC DEVELOPMENT

Date: 06/23/2015
Drawing Set: FINAL MINOR

Drawing Title: SITE DETAILS

Drawing Number: C6.0

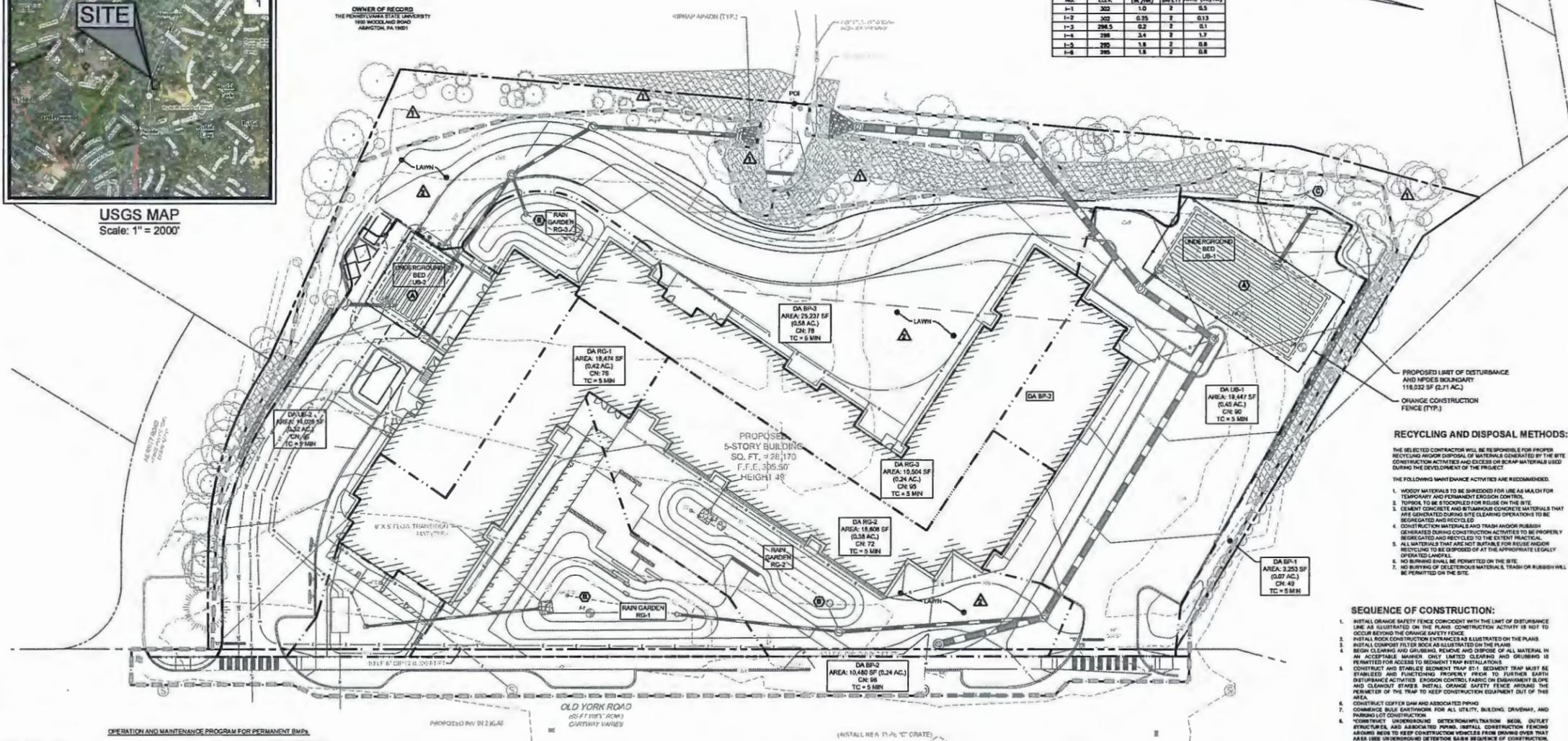


USGS MAP
Scale: 1" = 2000'

RESPONSIBLE PARTY NOTE:
PROPERTY OWNER IS RESPONSIBLE FOR ALL STORMWATER MANAGEMENT FACILITY OPERATIONS AND MAINTENANCE.
OWNER OF RECORD:
THE PENNSYLVANIA STATE UNIVERSITY
1800 WOODLAND ROAD
MANCHESTER, PA 19051

INFILTRATION TABLE

TEST NO.	TEST ELEV.	INFILTRATION RATE (IN./HR)	FACTOR OF SAFETY	DESIGN INFILTRATION RATE (IN./HR)
I-1	302	1.0	2	0.5
I-2	302	0.75	2	0.375
I-3	298.5	0.2	2	0.1
I-4	298	3.4	2	1.7
I-5	295	1.8	2	0.9
I-6	295	1.8	2	0.9



RECYCLING AND DISPOSAL METHODS:

- THE SELECTED CONTRACTOR WILL BE RESPONSIBLE FOR PROPER RECYCLING AND DISPOSAL OF MATERIALS GENERATED BY THE SITE CONSTRUCTION ACTIVITIES AND EXCESS OR SCRAP MATERIALS USED DURING THE DEVELOPMENT OF THE PROJECT.
- THE FOLLOWING WASTE MANAGEMENT ACTIVITIES ARE RECOMMENDED:
- WOOD MATERIALS TO BE SHIPPED FOR USE AS MULCH FOR TEMPORARY AND PERMANENT EROSION CONTROL.
 - TYPHOID TO BE STOCKPILED FOR REUSE ON THE SITE.
 - CLEAN CONCRETE AND REINFORCING CONCRETE MATERIALS THAT ARE GENERATED DURING SITE CLEARING OPERATIONS TO BE RECYCLED AND RECYCLED.
 - CONSTRUCTION MATERIALS AND TRASH AND/OR RUBBISH GENERATED DURING CONSTRUCTION ACTIVITIES TO BE PROPERLY SECURE GATED AND RECYCLED TO THE EXTENT PRACTICAL.
 - ALL MATERIALS THAT ARE NOT SUITABLE FOR REUSE AND/OR RECYCLING TO BE DISPOSED OF AT THE APPROPRIATE LEGALLY APPROVED LANDFILL.
 - NO BURNING SHALL BE PERMITTED ON THE SITE.
 - NO BURIAL OF DESTRUCTIVE MATERIALS, TRASH OR RUBBISH WILL BE PERMITTED ON THE SITE.

SEQUENCE OF CONSTRUCTION:

- INSTALL ORANGE SAFETY FENCE CONFORMANT WITH THE LIMIT OF DISTURBANCE LINE AS ILLUSTRATED ON THE PLANS. CONSTRUCTION ACTIVITY IS NOT TO OCCUR BEYOND THE ORANGE SAFETY FENCE.
 - INSTALL ROCK CONSTRUCTION ENTRANCES AS ILLUSTRATED ON THE PLANS.
 - INSTALL COMPOST FILTER ROCK AS ILLUSTRATED ON THE PLANS.
 - BEGIN CLEARING AND GRUBBING AND DISPOSE OF ALL MATERIAL IN AN ACCEPTABLE MANNER. ONLY LIMITED CLEARING AND GRUBBING IS PERMITTED FOR ACCESS TO THE SITE.
 - CONSTRUCT AND STABLE SEDIMENT TRAP #1. SEDIMENT TRAP MUST BE STABLE AND FURNISHING EROSION CONTROL FABRIC ON EMBANKMENT SLOPE AND CLEANOUT INITIAL ORANGE SAFETY FENCE AROUND THE PERIMETER OF THE TRAP TO KEEP CONSTRUCTION EQUIPMENT OUT OF THIS AREA.
 - CONSTRUCT OFFER DAM AND ASSOCIATED PIPING.
 - CONSTRUCT BULK HEADWORK FOR ALL UTILITY, BUILDING, DRIVEWAY, AND PARKING LOT CONSTRUCTION.
 - CONSTRUCT UNDERGROUND DETENTION/STORAGE BASIN, OUTLET STRUCTURE AND ASSOCIATED PIPING. INSTALL CONSTRUCTION FENCING AROUND THE DETENTION/STORAGE BASIN TO PREVENT OVER TRUCK AREA (SEE UNDERGROUND DETENTION BASIN SEQUENCE OF CONSTRUCTION DRAWING C-2).
 - CONSTRUCT REMAINING STORM STRUCTURES AND ASSOCIATED PIPING.
 - INSTALL REMAINING UTILITIES AND PROVIDE STUDS FOR BUILDING CONNECTIONS.
 - CONSTRUCT STONE TRENCH AND LEVEL SPREADER.
 - CONSTRUCT PARKING LOTS TO BASE COURSE AND FINISH FENCING AROUND INFILTRATION BEDS.
 - CONSTRUCT CONCRETE OF BUILDINGS.
 - "UPON COMPLETION OF BUILDING CONSTRUCTION, OUTLET STRUCTURE, ASSOCIATED DISCHARGE PIPES, AND TEMPORARY FILTER ROCK AROUND PERIMETER OF RAIN GARDENS TO BE REMOVED TO REVEAL SEDIMENT ACCUMULATION (SEE RAIN GARDEN SEQUENCE OF CONSTRUCTION DRAWING C-3).
 - COMPLETE PARKING LOT PAVING SECTIONS TO WEARING COURSE.
 - FINAL STABILIZATION OF EROSION CONTROL MEASURES. A SITE INSPECTION IS REQUIRED FROM THE CONSERVATION DISTRICT. REMOVAL OF EROSION CONTROL MEASURES SHALL OCCUR ONLY UPON THE STABILIZATION OF DISTURBED TERRITORY AREA OF CONTROL. PAVING OR UNIT CONSTRUCTION.
 - DECOMMISSIONING OF TEMPORARY STORM PIPES WITHIN RAIN GARDENS SHALL OCCUR WHEN VEGETATION HAS ACHIEVED SUFFICIENT GROWTH/CONTRIBUTION TO THE FORM OF VEGETATION. STONE, PAVING OR UNIT CONSTRUCTION.
 - IMMEDIATELY STABILIZE AREAS DISTURBED BY REMOVAL OF CONTROLS.
- *CRITICAL STAGE: DURING CONSTRUCTION OF STORMWATER BMPs A LICENSED PROFESSIONAL OR REGISTERED SURVEYOR SHALL BE PRESENT TO PREPARE AND DOCUMENT THE INFORMATION AND MEASUREMENTS REQUIRED.

- STRUCTURAL BMPs**
- UNDERGROUND INFILTRATION BED**
 - INSPECT AFTER EACH RUNOFF PRODUCING RAINFALL.
 - CLEAN OUT AREA DRAIN STRUCTURE DRAIN TO UNDERGROUND INFILTRATION BED BIENNIALY.
 - RAIN GARDEN**
 - INSPECT AFTER EACH RUNOFF PRODUCING RAINFALL.
 - REMOVE FALLEN LEAVES AND GRASS CLIPPINGS IMMEDIATELY. DO NOT USE HEAVY EQUIPMENT WITHIN THE RAIN GARDEN.
 - REMOVE TRASH AND DEBRIS ON A WEEKLY BASIS.
 - MAINTAIN VEGETATION ON THE TOP OF BERMS AND ON EXTERIOR SLOPES OF EMBANKMENTS. DO NOT ALLOW TREES AND SHRUBS TO GROW ON THE EMBANKMENT AREAS.
 - INSPECT EMBANKMENTS, OUTLET STRUCTURES, AND SPILLWAYS QUARTERLY AND AFTER EACH RUNOFF PRODUCING STORM.
 - LEVEL SPREADER**
 - INLET'S DRAWING TO A LEVEL SPREADER SHOULD BE INSPECTED AND CLEANED ON AN ANNUAL BASIS.
 - THE RECEIVING LAND AREA SHOULD BE IMMEDIATELY RESTORED TO DESIGN CONDITIONS AFTER ANY DISTURBANCE. VEGETATED AREAS SHOULD BE SEEDED AND BLANKETED.
- NON-STRUCTURAL BMPs**
- PERMANENT VEGETATIVE STABILIZATION**
 - INSPECT SEEDED AREAS AFTER EACH RUNOFF PRODUCING RAINFALL.
 - REPAIR AREAS WITH LESS THAN 70% VEGETATIVE COVERAGE.
 - RE-EVALUATE CHOICE OF PLANT MATERIAL AND QUANTITIES OF LINE AND/OR FERTILIZER. REPLACE SEED BED AND RESO.
 - IF SEASON PREVENTS RESEEDING, PROVIDE MULCH AND/OR EROSION NETTING AS TEMPORARY COVER.
 - PERMANENT POST-CONSTRUCTION BMPs**
 - UNDERGROUND INFILTRATION/DETENTION BED
 - RAIN GARDEN
 - LEVEL SPREADER
 - NON-STRUCTURAL BMPs (VEGETATIVE)**
 - MINIMIZE DISTURBED AREA
 - LANDSCAPE RESTORATION

PCSM NOTES:

- THE PERMITTEE SHALL PROVIDE ENGINEERING CONSTRUCTION OVERSIGHT FOR THE PROPOSED STORMWATER BMPs. ADDITIONAL SOIL TESTING MAY BE REQUIRED PRIOR TO THE INSTALLATION OF INFILTRATION BARS TO ENSURE PROPER LOCATION AND FUNCTION. A LICENSED PROFESSIONAL GEOTECHNICAL ENGINEER AND THE DESIGN AND CONSTRUCTION OF STORMWATER BMPs. PRIOR TO THE DESIGN ENGINEER, SHALL CONTACT THE OVERSIGHT ENGINEER AND/OR BEDROCK IS ENCOUNTERED DURING CONSTRUCTION OF THE INFILTRATION BED, THE OVERSIGHT ENGINEER SHOULD BE NOTIFIED AND THE PROPOSED INFILTRATION SYSTEM SHOULD BE RELOCATED TO A MORE SUITABLE LOCATION ON THE PROPERTY.
- FOR ANY PROPERTY CONTAINING A PCSM BMP, THE PERMITTEE OR COMMITTEE SHALL RECORD AN INSTRUMENT WITH THE RECORD OF DEEDS WHICH WILL ASSURE DISCLOSURE OF THE PCSM BMP AND THE RELATED OBLIGATIONS IN THE ORDINARY COURSE OF A TITLE SEARCH OF THE SUBJECT PROPERTY. THE RECORDED INSTRUMENT MUST OBLIGATE THE PCSM BMP PROVIDER FOR ACCESS RELATED TO LONG TERM OPERATION AND MAINTENANCE FOR PCSM BMPs AND PROVIDE NOTICE THAT THE RESPONSIBILITY FOR LONG TERM OPERATION AND MAINTENANCE OF THE PCSM BMP IS A CONTRACT THAT RUNS WITH THE LAND THAT IS BINDING UPON AND ENFORCEABLE BY SUCCESSIVE OWNERS, AND PROVIDE PROOF OF FILING WITH THE NOTICE OF TRANSFER UNDER § 1202.1515 (RELATING TO PERMIT TERMINATION).
- THE PERMITTEE SHALL BE RESPONSIBLE FOR LONG TERM OPERATION AND MAINTENANCE MAY ENTER INTO AN AGREEMENT WITH ANOTHER PERSON INCLUDING A CONSERVATION DISTRICT, HOMEOWNERS ASSOCIATION, MUNICIPALITY, AUTHORITY, PRIVATE CORPORATION OR OTHER PERSON TO TRANSFER THE RESPONSIBILITY FOR PCSM BMPs OR TO PERFORM LONG TERM OPERATION AND MAINTENANCE AND PROVIDE NOTICE THEREOF TO THE DEPARTMENT.
- NO GEOLOGICAL CONDITIONS EXIST ON SITE.
- NO HAZARDOUS AREAS EXIST ON SITE.
- NO WETLANDS ARE PRESENT ON SITE.
- THE RECEIVING WATER COURSE IS MEADOW BROOK, AND THE CHAPTER 83 DESIGNATION IS TSP (BROOK STOCKING).
- THE OVERALL STORMWATER DESIGN PRESERVES THE INTEGRITY OF STREAM CHANNELS, AND MAINTAINS AND PROTECTS THE PHYSICAL, BIOLOGICAL, AND CHEMICAL QUALITIES OF THE RECEIVING STREAM.
- ANY INCREASE IN THE RATE OR VOLUME OF STORMWATER RUNOFF HAS BEEN PREVENTED.
- ALL IMPROVED AREAS HAVE BEEN MINIMIZED.
- THE PROTECTION OF EXISTING DRAINAGE FEATURES AND EXISTING VEGETATION HAS BEEN MAXIMIZED.
- ALL LAND CLEARING AND GRADING AND SOIL COMPACTION HAS BEEN MINIMIZED.
- UTILIZE OTHER STRUCTURAL OR NONSTRUCTURAL BMPs THAT PREVENT OR MINIMIZE CHANGES IN STORMWATER RUNOFF.

SOILS CHARACTERISTICS CHART

SYMBOL	DESCRIPTION	TABLE B INFORMATION		SATURABILITY FOR		CONSTRUCTION ROAD FULL TYPICAL	INFILTRATION RATE (IN./HR)	CROSSLINITY CLASSIFICATION	AGRICULTURAL SOILS CLASSIFICATION	LEDA-DCS SOIL RATING FOR INFILTRATION	HYDRO SOIL	
		DEPTH TO SALTY BEDROCK	DEPTH TO SALTY BEDROCK	SOFT	SOFT							
CoB	CALFON LOW	36-66 SLOPES	67-94	VERY LIMITED	MODERATELY LIMITED	FAIR	0.08-0.12	0.32	PRIME FARMLAND	GROUP B	NO	
CoD	LEASTON GRANULY LOW	36-66 SLOPES	> 80	SOMewhat LIMITED	SOMewhat LIMITED	FAIR	0-8	0.15	PRIME FARMLAND	GROUP A	NO	
UvB	ORANGE CLAYSTONE CONDFR	36-66 SLOPES	> 80	NOT RATED	NOT RATED	NOT RATED	NOT RATED	0-8	0.15	NOT PRIME FARMLAND	GROUP A	NO

NOTE: INDICATES SOILS WITH COMPONENTS OF ALLUVIAL SOILS
NOTE: # INDICATES SOILS WITH INCLUSIONS OF HYDRO SOILS
LEDA-DCS SOIL GROUP RATING FOR INFILTRATION AND LIQUIDITY:
 GROUP A: LOWEST RUNOFF POTENTIAL WITH HIGH INFILTRATION RATES
 GROUP B: LOW TO MODERATE RUNOFF POTENTIAL WITH MODERATE INFILTRATION WITH NET GROUP C: MODERATE TO HIGH RUNOFF POTENTIAL WITH LOW INFILTRATION WITH NET GROUP D: HIGHEST RUNOFF POTENTIAL WITH VERY LOW INFILTRATION RATES WITH NET

SOIL USE LIMITATIONS:
 DUE TO POTENTIAL SEASONAL HIGH WATER TABLE AND SHALL ONLY BE TO SATURATED ZONE THE GLEWILLE SILT CLAY AND GLEWILLE SILT CLAY ARE LIMITED SOILS FOR DWELLINGS WITH BASEMENTS
 SHALLOW GROUNDWATER ENCOUNTERED WITHIN LIMIT OF DISTURBANCE TO BE EVALUATED BY ON-SITE ENGINEER.

PERMANENT SEED MIXTURE:
 ALL DISTURBED AREAS SHALL BE SEEDING WITH THIS MIXTURE AT 4 LBS PER 1,000 SQUARE FEET

	BY WEIGHT	PURITY	GERMINATION
KENTUCKY BLUEGRASS	49.00%	98%	80%
LAWN PERENNIAL RYEGRASS	33.33%	98%	90%
ANNULAR RYE	18.00%	98%	90%

CALL BEFORE YOU DIG
 BEFORE YOU DO ANYWHERE IN PENNSYLVANIA
 CALL 1-800-861-7778
 PA ACT 287 OF 1974 REQUIRES THREE WORKING DAYS NOTICE TO UTILITIES BEFORE YOU EXCAVATE, DRILL OR BLAST PENNSYLVANIA ONE-CALL SYSTEM, INC.

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LEGEND

- EXISTING RIGHT-OF-WAY / PROPERTY LINE
- EXISTING CURB
- EXISTING CONCRETE SIDEWALK
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- EXISTING SANITARY SEWER
- EXISTING STORM SEWER
- EXISTING WATER MAIN
- EXISTING GAS MAIN
- EXISTING ELECTRIC CONDUIT
- EXISTING TELEPHONE CONDUIT
- EXISTING MANHOLES
- EXISTING STEEP SLOPES
- EXISTING VALVES
- EXISTING ROOF DRAIN
- EXISTING SIGN
- EXISTING FIRE HYDRANT
- EXISTING SHAMBLE FIRE CONNECTION
- EXISTING UTILITY POLE WITH GUY WIRE
- EXISTING UTILITY POLE
- EXISTING LIGHT POLE
- EXISTING ELECTRICAL JUNCTION BOX
- EXISTING SOILS
- EXISTING TREE
- EXISTING BRUSH-LINE
- PROPOSED PROPERTY LINE
- PROPOSED RIGHT-OF-WAY
- PROPOSED CONCRETE MONUMENT
- PROPOSED BUILDING
- PROPOSED SIDEWALK
- PROPOSED EXPOSED AGGREGATE CONCRETE
- PROPOSED PAVERS
- PROPOSED ASPHALT PAVEMENT
- PROPOSED UNDERGROUND BASIN
- PROPOSED GRAVEL
- PROPOSED REINFORCED TURF FIRE ACCESS LAKE
- PROPOSED CURB
- PROPOSED DEPRESSION CURB
- PROPOSED DECORATIVE WALL
- PROPOSED BLOCK SEGMENTAL WALL
- PROPOSED BUILDING OVERHANG
- PROPOSED BIKE RACK
- PROPOSED CLEAN OUT
- PROPOSED STREET LIGHT
- PROPOSED SIGN
- PROPOSED FLEXIBLE BOLLARD
- PROPOSED STORM SEWER LINES
- PROPOSED ROOF HEADER MANFOLDS
- PROPOSED LIMIT OF DISTURBANCE
- BMP DRAINAGE AREA
- INFILTRATION TEST LOCATION



ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK.

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No.	Date	Revisions

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Date: 06/15/2015
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Drawing Title: **POST-CONSTRUCTION STORMWATER MANAGEMENT PLAN**

Drawing Number: **C9.0**
 SHEET No: 1 OF 4

