

- LEGEND**
- EXISTING**
- CONTIGUOUS
  - SPOT ELEVATIONS
  - SANITARY MANHOLE
  - SENIOR CLEANOUT
  - SANITARY SEWER
  - WATER
  - GAS
  - OVERHEAD WIRE
  - UTILITY POLE
  - SHADE
  - TREE
  - B.S.B.L. BUILDING SETBACK LINE
  - E.O.P. EDGE OF PAVEMENT
  - LIGHT
  - WRECK WELL

**REQUESTED WAIVER LIST**

THE APPLICANT REQUESTS THE FOLLOWING WAIVERS FROM THE ABRINGTON TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE SECTIONS:

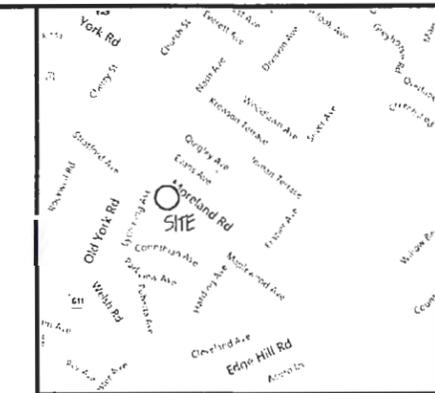
146-11.A: REQUIRING THE PLAN TO SUPPLY TAX PARCEL INFORMATION FOR ALL PROPERTIES WITHIN 400 FEET OF THE PROPERTIES INVOLVED IN THIS APPLICATION.

146-11.B: REQUIRING THE PLAN TO SHOW THE LOCATION OF ALL UTILITIES ON SITE AND WITHIN 400 FEET OF THE PROPERTY INVOLVED IN THIS APPLICATION.

146-11.F.b: REQUIRING PROFILE PLANS (NO NEW STREETS ARE PROPOSED).

146-11.I: REQUIRING A PHASING PLAN WITH DEFINED TIMELINES.

146.11.J: REQUIRING A RECREATIONAL FACILITIES PLAN.



LOCATION MAP  
1" = 1000'

**ZONING INFORMATION**

R-4 RESIDENTIAL HIGH DENSITY DISTRICT

	REQUIRED	EXISTING	PROPOSED LOT 1	PROPOSED LOT 2
LOT AREA	7,500 SF	19,561.8 SF	10,038.4 SF	9,523.2 SF
LOT WIDTH	50 FT	100 FT	50 FT	50 FT
LOT DEPTH	100 FT	195.52 FT	203.78 FT	193.47 FT
FRONT YARD	20 FT	30.13 FT	30.13 FT	40 FT
SIDE YARD	10 FT	7.13 FT*	7.13 FT*	10 FT
REAR YARD	25 FT	129.25 FT	129.25 FT	111.84 FT
BUILDING AREA (MAX)	40%	7.8%	9.1%	18%
IMPERVIOUS AREA (MAX)	55%	23.5%	29.8%	36.7%
GREEN AREA (MIN)	45%	68.7%	70.2%	63.3%
BUILDING HEIGHT	35 FT	EXISTING	EXISTING	35 FT MAX
BUILDING LENGTH (MAX)	100 FT	38.10 FT	38.10 FT	34 FT
BUILDING SEPARATION (MIN)	20 FT	27.03 FT	23.16 FT	23.16 FT

\*DENOTES EXISTING NON-CONFORMING CONDITION

**NOTES**

THE PURPOSE OF THIS PLAN IS TO DEPICT THE PROPOSED SUBDIVISION OF THE EXISTING LOT INTO TWO LOTS.

THIS PLAN IS BASED UPON AN ACTUAL FIELD SURVEY PERFORMED BY THIS OFFICE ON APRIL 15, 2015.

THIS PLAN IS NOT INTENDED TO GUARANTEE OWNERSHIP.

SURVEY AND PLAN BEARINGS BASED ON EXISTING RECORDS.

VERTICAL DATUM: ASSUMED

SITE BENCHMARK: SANITARY MANHOLE LOCATED IN SIDEWALK IN FRONT OF 206 MORELAND ROAD (AS NOTED ON PLAN).

SITE WILL BE SERVICED BY PUBLIC WATER AND SANITARY SEWER.

SURVEY MONUMENTS WILL BE SET AS REQUIRED BY THE TOWNSHIP ENGINEER.

THE CONTRACTOR SHALL ENSURE THAT ALL NECESSARY PERMITS AND APPROVALS HAVE BEEN OBTAINED PRIOR TO COMMENCEMENT OF ANY SITE CONSTRUCTION ACTIVITIES.

**SURVEYORS CERTIFICATION**

I, WILLIAM R. CLUDIK, PE, PLS, DO HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL LAND SURVEYOR, LICENSED IN COMPLIANCE WITH THE LAWS OF THE COMMONWEALTH OF PENNSYLVANIA AND THAT THIS PLAN CORRECTLY REPRESENTS A SURVEY MADE BY MYSELF OR UNDER MY SUPERVISION AND THAT IT IS TRUE AND CORRECT.

WILLIAM R. CLUDIK, PE, PLS  
LICENSE NO. 50075215

COMMONWEALTH OF PENNSYLVANIA  
COUNTY OF MONTGOMERY:

ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 20\_\_\_\_, BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC OF THE COMMONWEALTH OF PENNSYLVANIA, RESIDING IN \_\_\_\_\_

PERSONALLY APPEARED \_\_\_\_\_ (NAME OF OFFICER OF THE CORPORATION) WHO ACKNOWLEDGED (HIM/HERSELF) TO BE THE (PRESIDENT OR SECRETARY), BEING AUTHORIZED TO DO SO, (HE/SHE) EXECUTED THE FOREGOING PLAN BY SIGNING THAT SAID CORPORATION IS THE OWNER OF THE DESIGNATED LAND, THAT ALL NECESSARY APPROVAL OF THE PLAN HAS BEEN OBTAINED AND IS ENDORSED THEREON AND THAT SAID CORPORATION DESIRES THAT THE FOREGOING PLAN MAY BE DULY RECORDED.

IN WITNESS WHEREOF, I HERETO SET MY HAND AND OFFICIAL SEAL.

OWNER(S): \_\_\_\_\_  
NOTARY PUBLIC: \_\_\_\_\_  
MY COMMISSION EXPIRES ON: \_\_\_\_\_

**APPROVAL OF THE TOWNSHIP**

APPROVED BY THE BOARD OF COMMISSIONERS OF THE TOWNSHIP OF ABRINGTON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

PRESIDENT \_\_\_\_\_  
SECRETARY \_\_\_\_\_  
ENGINEER \_\_\_\_\_

**CERTIFICATION OF RECORDING**

RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS, ECT., NORRISTOWN, PENNSYLVANIA IN:

PLAN BOOK \_\_\_\_\_ PAGE \_\_\_\_\_  
ON \_\_\_\_\_  
BY \_\_\_\_\_  
RECORDER OF DEEDS

**MONTGOMERY COUNTY PLANNING APPROVAL**

CERTIFIED BY THE MONTGOMERY COUNTY PLANNING COMMISSION THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

FILE NO. \_\_\_\_\_  
ATTEST \_\_\_\_\_ SECRETARY

**PROJECT SHEET INDEX**

SHEET NO.	SHEET DESCRIPTION
1 OF 5	SUBDIVISION PLAN
2 OF 5	SITE IMPROVEMENT PLAN
3 OF 5	LANDSCAPING PLAN
4 OF 5	NOTES & DETAILS
5 OF 5	PROFILES & DETAILS

INFORMATION CONTAINED HEREIN IS THE SOLE PROPERTY OF BOUNDARY STONE ASSOCIATES, LLC. REPRODUCTION OR TRANSMISSION OF THIS INFORMATION IN ANY FORM OR BY ANY MEANS WITHOUT THE WRITTEN PERMISSION OF BOUNDARY STONE ASSOCIATES, LLC IS STRICTLY PROHIBITED. THIS PLAN IS THE PROPERTY OF BOUNDARY STONE ASSOCIATES, LLC AND IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS WITHOUT THE WRITTEN PERMISSION OF BOUNDARY STONE ASSOCIATES, LLC.

CAUTION: THIS DOCUMENT DOES NOT CONTAIN OR BE THE ORIGINAL SURVEY OF THE PROFESSIONAL LAND SURVEYOR. IT IS NOT AN APPROVED RECORDING DOCUMENT AND MAY NOT BE USED AS SUCH.

**PROPERTY INFO.**  
2066 MORELAND ROAD  
ABRINGTON, PA, 19001  
TAX BLOCK 245 UNIT 21  
PARCEL ID NO. 30-00-45020-00-4

**APPLICANT**  
BROWN STREET ASSOCIATES  
1525 CAMPUS DRIVE  
WARRIMSTER, PA 16974

NO.	REVISION	DATE

PRELIMINARY / FINAL SUBDIVISION PLAN  
2066 MORELAND ROAD  
ABRINGTON TOWNSHIP, MONTGOMERY COUNTY, PA  
DATE: MAY 22, 2015 SCALE 1" = 20'

PREPARED BY  
**BOUNDARY STONE ASSOCIATES, LLC**  
PROFESSIONAL ENGINEERS, LAND SURVEYORS & PLANNERS

WILLIAM R. CLUDIK, P.E., P.L.S.  
PROFESSIONAL ENGINEER, PA LIC. NO. PE006590  
PROFESSIONAL LAND SURVEYOR, PA LIC. NO. 50075215

P.O. BOX 604  
WEST CHESTER, NEW JERSEY 08036  
PHONE (206) 504-2889  
FAX (206) 452-1527

PA ONE CALL SERIAL NO. 20151312925

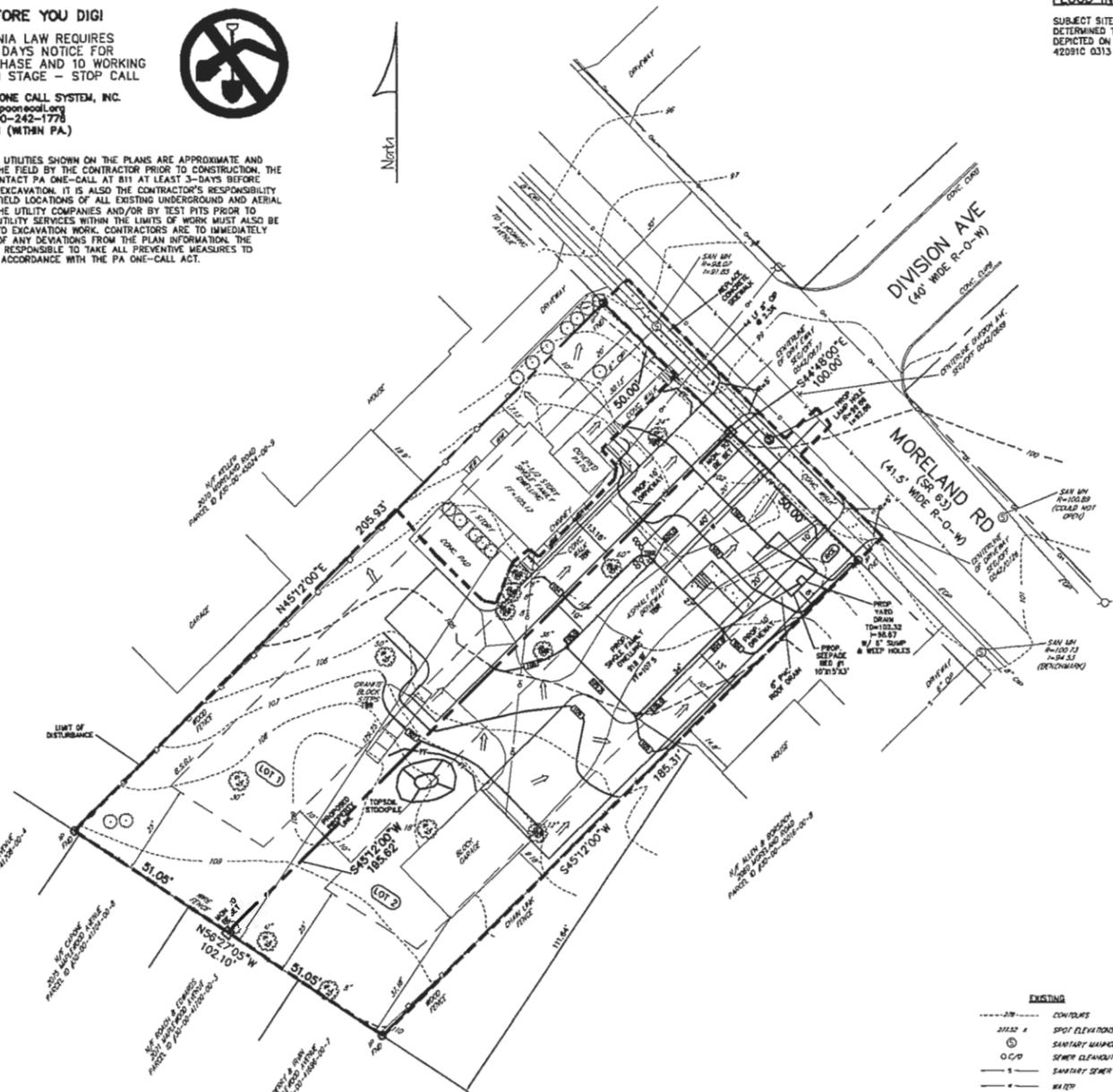
**CALL BEFORE YOU DIG!**

PENNSYLVANIA LAW REQUIRES  
3 WORKING DAYS NOTICE FOR  
CONSTRUCTION PHASE AND 10 WORKING  
DAYS IN DESIGN STAGE - STOP CALL

PENNSYLVANIA ONE CALL SYSTEM, INC.  
www.poonecall.org  
1-800-242-1778  
8-1-1 (WITHIN PA.)



THE LOCATIONS OF ALL UTILITIES SHOWN ON THE PLANS ARE APPROXIMATE AND MUST BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CONTACT PA ONE-CALL AT 811 AT LEAST 3-DAYS BEFORE PROCEEDING WITH ANY EXCAVATION. IT IS ALSO THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ACCURATE FIELD LOCATIONS OF ALL EXISTING UNDERGROUND AND AERIAL UTILITIES FROM BOTH THE UTILITY COMPANIES AND/OR BY TEST PITS PRIOR TO BEGINNING WORK. ALL UTILITY SERVICES WITHIN THE LIMITS OF WORK MUST ALSO BE FIELD LOCATED PRIOR TO EXCAVATION WORK. CONTRACTORS ARE TO IMMEDIATELY NOTIFY THE ENGINEER OF ANY DEVIATIONS FROM THE PLAN INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE TO TAKE ALL PREVENTIVE MEASURES TO PROTECT THE LINES IN ACCORDANCE WITH THE PA ONE-CALL ACT.



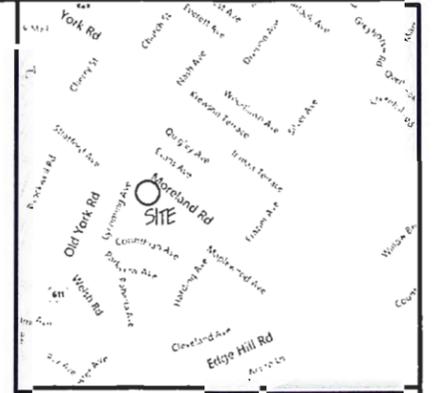
**FLOOD INFORMATION**

SUBJECT SITE LIES IN FLOOD ZONE X - AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN AS DEPICTED ON FEMA FLOOD INSURANCE RATE MAP NUMBER 42091C 0313 E, EFFECTIVE DATE DECEMBER 19, 1996.

**SOILS INFORMATION**

LHAB - URBAN LAND - EDEMONT COMPLEX, 0 TO 8 PERCENT SLOPES

SOURCE: NATURAL RESOURCES CONSERVATION SERVICES  
WEB SOIL SURVEY VERSION 7,  
SEPT. 19, 2014.  
MONTGOMERY COUNTY, PA



LOCATION MAP

1" = 1000'

LIMIT OF DISTURBANCE = 17,900 SF

**BREAKDOWN OF ONSITE IMPERVIOUS SURFACES**

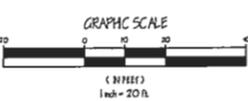
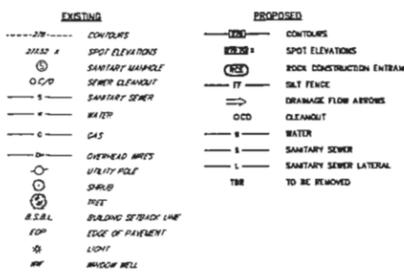
BUILDINGS	EXISTING	PROPOSED
CONCRETE/ALUMINUMS	1,528.5 SF	2444.5 SF
TOTAL	3,178.7 SF	4844.3 SF

**OFF-STREET PARKING**

	REQUIRED	PROVIDED
SINGLE FAMILY DWELLING	2 PER LOT	2 - LOT 1 2 - LOT 2

**NOTES**

- THE PURPOSE OF THIS PLAN IS TO DEPICT THE PROPOSED CONSTRUCTION OF A SINGLE-FAMILY DWELLING AND RELATED APPURTENANCES.
- THE CONTRACTOR SHALL ENSURE THAT ALL NECESSARY PERMITS AND APPROVALS HAVE BEEN OBTAINED PRIOR TO THE COMMENCEMENT OF ANY SITE CONSTRUCTION ACTIVITIES.
- SURVEY AND PLAN BEARINGS BASED ON EXISTING RECORDS.
- VERTICAL DATUM: ASSUMED
- SITE BENCHMARK: SANITARY MANHOLE LOCATED IN SIDEWALK IN FRONT OF 206 MORELAND ROAD (AS NOTED ON PLAN).
- UTILITY INFORMATION DEPICTED ON THIS PLAN IS BASED UPON VISIBLE EVIDENCE AND UTILITY PLANS PROVIDED BY THE UTILITY COMPANIES THROUGH PA ONE CALL, AS OF THE DATE OF THIS PLAN. THIS INFORMATION IS NOT GUARANTEED BY BOUNDARY STONE ASSOCIATES, LLC. ALL UTILITIES MAY NOT BE DEPICTED AND THE LOCATIONS OF THE UTILITIES PROVIDED HEREON ARE APPROXIMATE. THE CONTRACTOR SHALL VERIFY HORIZONTAL AND VERTICAL LOCATIONS OF ALL UTILITIES AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO ANY CONSTRUCTION.
- SITE WILL BE SERVICED BY PUBLIC WATER AND SANITARY SEWER.
- ALL UTILITIES SHALL BE PLACED UNDERGROUND.
- ALL WATER SERVICE CONNECTIONS SHALL COMPLY WITH THE REQUIREMENTS OF AQUA PENNSYLVANIA.
- ALL SANITARY SEWER CONSTRUCTION SHALL COMPLY WITH THE REQUIREMENTS OF ABINGTON TOWNSHIP.
- ROOF DRAIN FROM THE PROPOSED HOUSE SHALL BE CONNECTED TO SEEPAGE BED NUMBER 1. SEEPAGE BED(S) SHALL BE LOCATED AT MINIMUM OF 10 FEET FROM ANY FOUNDATION.
- THE CONTRACTOR SHALL BECOME COMPLETELY FAMILIAR WITH THE REQUIREMENTS OF PA DEP CHAPTER 102 REGULATIONS (AS AUTHORIZED UNDER THE CLEAN STREAM LAW, 36 P.S. SUBSECTION 891.202 ET. SEQ.) PRIOR TO THE COMMENCEMENT OF EARTH DISTURBANCE ACTIVITIES.
- ALL BACKFILL AT STRUCTURES, SLABS, STEPS AND PAVEMENTS SHALL BE CLEAR GRANULAR FILL PLACED IN 8" LIFTS AND COMPACTED TO 95% MAXIMUM DRY DENSITY DETERMINED IN ACCORDANCE WITH ASTM D-1557-02a01.
- BACKFILL AT LAWNS AND UNPAVED AREAS ARE TO BE FREE OF CLAY, ROCK OR GRAVEL LARGER THAN 2" IN ANY DIRECTION, DEBRIS, ORGANIC MATTER, WASTE AND FROZEN MATERIAL PLACED IN 12" LIFTS AND COMPACTED TO 90% MAXIMUM DRY DENSITY IN ACCORDANCE WITH ASTM D-1557-02a01.
- UNSATURABLE SUBGRADE MATERIALS SUCH AS ORGANICS, ROOTS AND WOOD SHALL BE REMOVED AND REPLACED WITH THE APPROPRIATE FILL IF ENCOUNTERED. ANY SOFT SPOTS THAT CANNOT BE COMPACTED SHALL ALSO BE REMOVED AND REPLACED WITH THE APPROPRIATE FILL.



**SEQUENCE OF CONSTRUCTION**

- PLACE ROCK CONSTRUCTION ENTRANCE.
- PLACE SILT FENCE AND TREE PROTECTION FENCING.
- CLEAR AND GRUB AS REQUIRED FOR CONSTRUCTION. REMOVE TOPSOIL FROM AREAS OF REQUIRED GRADING AND STOCKPILE FOR FUTURE USE ON SITE. PROTECT TIDE OF STOCKPILE WITH SILT FENCE AND SEED WITH TEMPORARY SEED AND MULCH MIXTURE APPLIED AT RECOMMENDED RATES.
- CONSTRUCT HOME IN ACCORDANCE WITH THE BUILDING PERMIT PLANS AND INSTALL UTILITY SERVICES. ALL UTILITY SERVICES SHALL BE INSTALLED IN STRICT CONFORMANCE WITH ALL OPERATING UTILITY AUTHORITY STANDARDS AND SPECIFICATIONS.
- INSTALL STORMWATER CONTROL MEASURES. BEGIN FINAL GRADING. INSTALL PROPOSED DRIVEWAYS AND WALKWAYS AS SHOWN AND DETAILED ON THESE PLANS.
- PLACE A MINIMUM OF 6" OF TOPSOIL ON ALL LAWN AND LANDSCAPED AREAS. STABILIZE ALL DISTURBED AREAS WITH PERMANENT SEED AND MULCH MIXTURE APPLIED AT RECOMMENDED RATES.
- UPON STABILIZATION, REMOVE EROSION CONTROLS AND SEED/MULCH DISTURBED AREA.

**OWNERS CERTIFICATION**

I/WE, \_\_\_\_\_, ACKNOWLEDGE THAT THE STORMWATER MANAGEMENT FACILITIES SHOWN ON THESE PLANS CAN ONLY BE ALTERED OR REMOVED AFTER APPROVAL OF A REVISED PLAN BY THE APPLICABLE MUNICIPALITY AND AGREE TO THE BMP MAINTENANCE REQUIREMENTS LISTED IN THIS PLAN SET.

SIGNATURE \_\_\_\_\_ DATE SIGNED \_\_\_\_\_

**ENGINEER'S CERTIFICATION**

I, WILLIAM R. CLIDK, P.E., P.L.S. ON THIS DATE \_\_\_\_\_ OF 2015 HEREBY CERTIFY THAT THE DRAINAGE PLAN MEETS ALL REQUIREMENTS OF THE DEPARTMENT OF ENVIRONMENTAL PROTECTION REGULATIONS AND THE APPLICABLE MUNICIPALITY'S STORMWATER MANAGEMENT ORDINANCE.

SIGNATURE \_\_\_\_\_ DATE SIGNED \_\_\_\_\_

**PROPERTY INFO.**

2066 MORELAND ROAD  
ABINGTON, PA, 19001  
TAX BLOCK 248 UNIT 21  
PARCEL ID NO: 30-00-45020-00-4

**APPLICANT**

BROWN STREET ASSOCIATES  
1525 CAMPUS DRIVE  
WARMINSTER, PA 18974

NO.	REVISION	DATE

**SITE IMPROVEMENT PLAN**  
2066 MORELAND ROAD  
ABINGTON TOWNSHIP, MONTGOMERY COUNTY, PA

DATE: MAY 22, 2015 SCALE 1" = 20'

PREPARED BY  
**BOUNDARY STONE ASSOCIATES, LLC**  
PROFESSIONAL ENGINEERS, LAND SURVEYORS & PLANNERS

P.O. BOX 601  
WEST DEPTFORD, NEW JERSEY 08066  
PHONE (856) 584-2859  
FAX (856) 452-4521

**WILLIAM R. CLIDK, P.E., P.L.S.**  
PROFESSIONAL ENGINEER-P.A.L.C. NO. PE066190  
PROFESSIONAL LAND SURVEYOR-P.A.L.C. NO. S1076219

**TOPSOIL AND SEEDING NOTES**

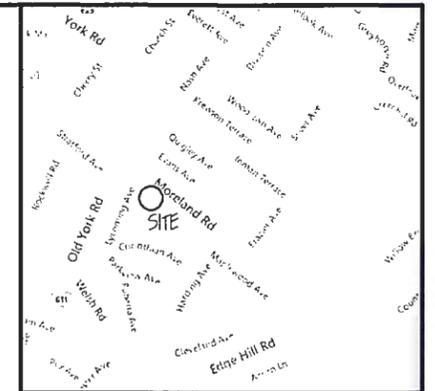
**A. TEMPORARY & PERMANENT SEEDING:**  
 SEEDING AND SOIL SUPPLEMENTS SHALL BE FURNISHED AND PLACED IN ACCORDANCE WITH PENNDOT PUBLICATION 408 SECTION 804 - SEEDING AND SOIL SUPPLEMENTS.  
 TEMPORARY SEEDING SHALL BE PENNDOT FORMULA E.  
 PERMANENT SEEDING SHALL BE PENNDOT FORMULA B.

**B. TOPSOIL:**  
 PRIOR TO SEEDING, REDISTRIBUTE STOCKPILED TOPSOIL, IF NECESSARY PROVIDE IMPORTED TOPSOIL.  
 TOPSOIL SHALL BE FURNISHED AND PLACED IN ACCORDANCE WITH PENNDOT PUBLICATION 408 SECTION 802 - TOPSOIL FURNISHED AND PLACED.

**C. TEMPORARY & PERMANENT STABILIZATION:**  
 ALL AREAS WHICH ARE SEEDING WITH TEMPORARY OR PERMANENT SEED MIXTURES SHOULD BE MULCHED.  
 HAY OR STRAW MULCH MUST BE APPLIED AT 3.0 TONS PER ACRE.  
 MULCH WITH MULCH CONTROL NETTING OR EROSION CONTROL BLANKETS MUST BE INSTALLED ON ALL SLOPES 3:1 AND STEEPER.  
 STRAW MULCH SHALL BE APPLIED IN LONG STRANDS, NOT CHOPPED OR FINELY BROKEN.  
 MULCH WITH HAY OR STRAW MULCH TO PRODUCE A LOOSE LAYER 0.75 TO 1 INCH DEEP. MULCH ON CHUTE SWALES AROUND BUILDINGS GREATER THAN 8% SLOPE SHALL BE ANCHORED WITH MULCH CONTROL NETTING.

**LANDSCAPING NOTES**

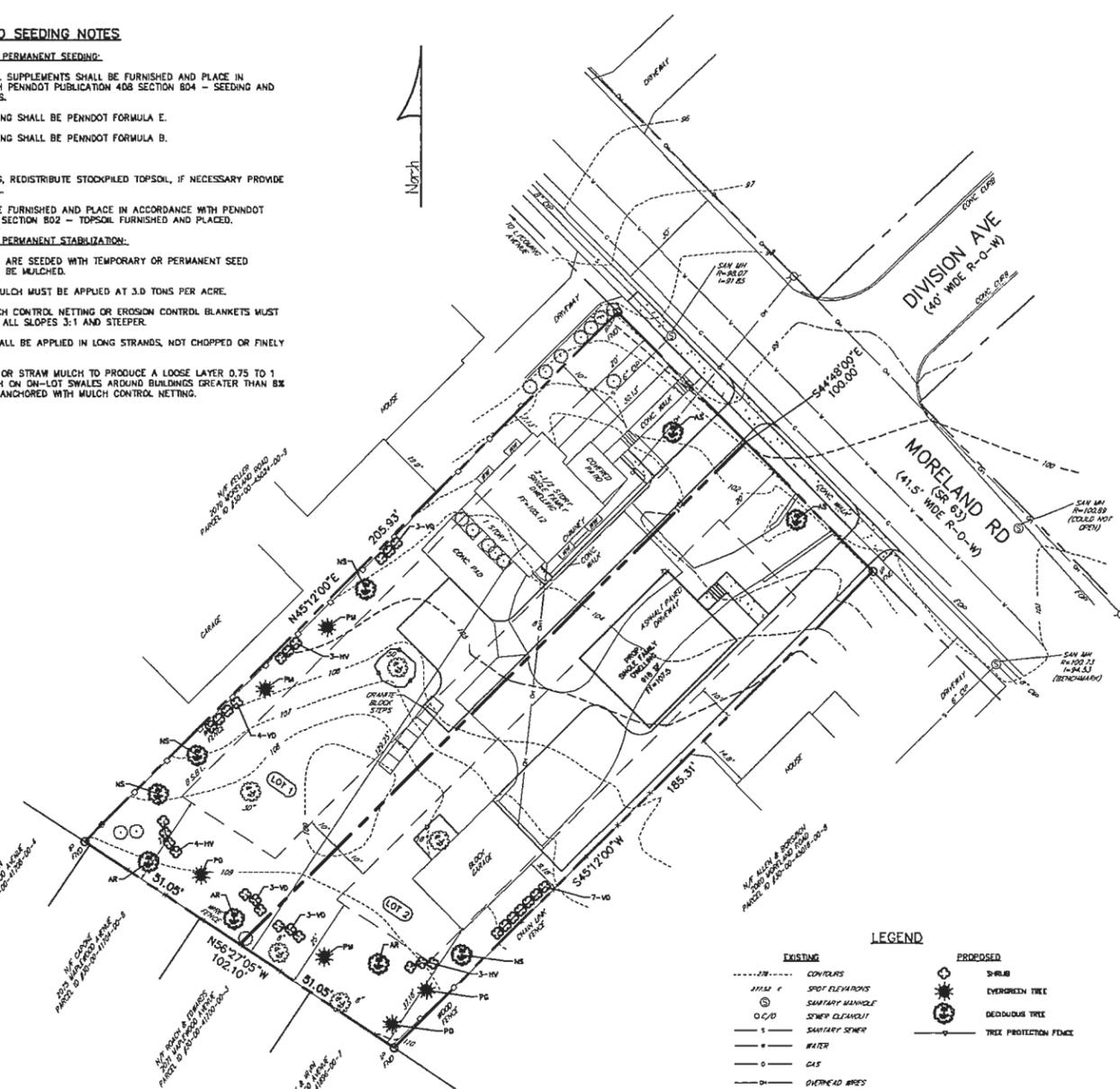
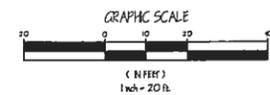
NO PLANT MATERIALS SHALL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.  
 A 3-INCH DEEP SHREDDED PINE BARK MULCH LAYER SHALL BE INSTALLED UNDER ALL TREES AND SHRUBS AND IN ALL PLANTING BEDS, AS SHOWN ON THE PLANS.  
 ALL TREES SHALL BE BALLED AND BURLAPPED, UNLESS OTHERWISE NOTED, OR APPROVED BY THE OWNERS REPRESENTATIVE.  
 ALL PLANT MATERIALS INSTALLED SHALL MEET OR EXCEED THE SPECIFICATIONS OF THE "AMERICAN STANDARDS FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERYMEN.  
 ALL PLANT MATERIAL SHALL BE GUARANTEED FOR AT LEAST ONE YEAR FOLLOWING THE DATE OF ACCEPTANCE.  
 EXISTING TREES TO REMAIN SHALL BE PROTECTED WITH TEMPORARY SNOW FENCE. ERECT SNOW FENCE AT THE DRIPLINE OF THE TREE.



**LOCATION MAP**  
 1" = 1000'

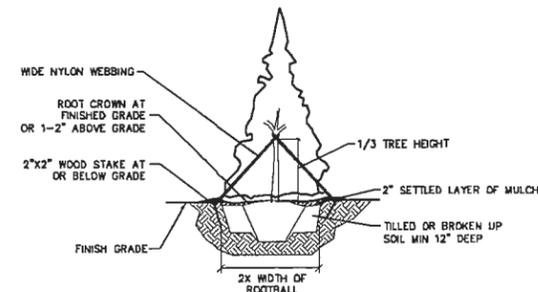
**LANDSCAPING REQUIREMENTS**

ZONING SECT. 801.U.j - BUFFER AREA			PROVIDED
REQUIRED			
BUFFER AREAS OF THE WIDTH AS INDICATED IN THE DISTRICT REGULATIONS SHALL BE PROVIDED ACCORDING TO THE FOLLOWING:			
PLANTING MATERIAL PER BUFFER DEPTH (PER 100' OF BUFFER LENGTH)			
DECIDUOUS TREE	EVERGREEN TREE	SHRUBS	
1	1	5	
NORTHERN PROPERTY LINE (10' SY): 205.93'			
2 DECIDUOUS TREES, 2 EVERGREEN TREES & 10 SHRUBS			2 DECIDUOUS TREES, 2 EVERGREEN TREES & 10 SHRUBS
SOUTHERN PROPERTY LINE (10' SY): 185.31"			
2 DECIDUOUS TREES, 2 EVERGREEN TREES & 10 SHRUBS			2 DECIDUOUS TREES, 2 EVERGREEN TREES & 10 SHRUBS
PLANTING MATERIAL PER BUFFER DEPTH (PER 100' OF BUFFER LENGTH)			
DECIDUOUS TREE	EVERGREEN TREE	SHRUBS	
3	2	10	
WESTERN PROPERTY LINE (25' SY): 102.1"			
3 DECIDUOUS TREES, 2 EVERGREEN TREES & 10 SHRUBS			3 DECIDUOUS TREES, 2 EVERGREEN TREES & 10 SHRUBS
SALSO SECTION 148-39 - STREET TREES			
SHADE TREES ARE TO BE PROVIDED ALONG ALL STREETS WHENEVER IMPROVEMENTS ARE TO BE CONSTRUCTED IN A SUBDIVISION / LAND DEVELOPEMENT			
SPACING: 1 TREE PER 50'			
100' = 1 SHADE TREE			
TOTAL PROVIDED			2 SHADE TREE
			9 DECIDUOUS TREES
			6 EVERGREEN TREES
			30 SHRUBS



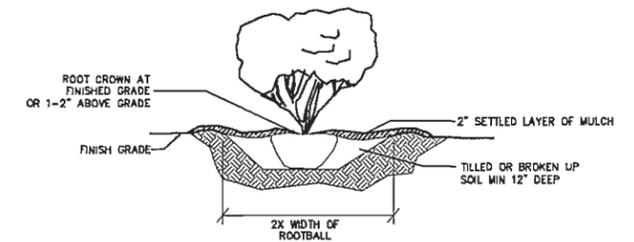
**LEGEND**

- | EXISTING                       | PROPOSED                |
|--------------------------------|-------------------------|
| --- CONTOURS                   | ☀ SHRUB                 |
| ▲ SPOT ELEVATIONS              | ☀ EVERGREEN TREE        |
| ○ SANITARY MANHOLE             | ☀ DECIDUOUS TREE        |
| ○ C.C./D. SEWER CLEANOUT       | — TREE PROTECTION FENCE |
| — SANITARY SEWER               |                         |
| — WATER                        |                         |
| — GAS                          |                         |
| — OVERHEAD WIRES               |                         |
| ○ UTILITY POLE                 |                         |
| ○ SHIELD                       |                         |
| ○ TRIP                         |                         |
| — B.S.M. BUILDING SETBACK LINE |                         |
| — TOP EDGE OF ALIEMENT         |                         |
| ○ LIGHT                        |                         |
| ○ WOOD WELL                    |                         |



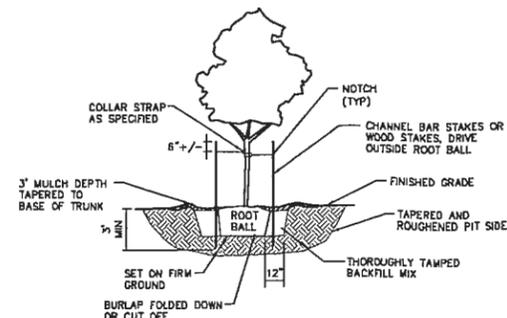
- NOTES:**
- UNLESS NOTED OTHERWISE, PROVIDE MATERIALS AND CONSTRUCT IN ACCORDANCE WITH PENNDOT PUBLICATION 408 SECTION 808 - PLANTS, PLANTING & TRANSPLANTING.
  - SET TOP OF ROOT BALL 1" TO 2" HIGHER THAN SURROUNDING GROUND.
  - ATTACH NYLON WEBBING TO THE TREE AT A POINT NOT LESS THAN 1/3 OF THE HEIGHT OF THE TREE.

**EVERGREEN TREE PLANTING**  
 N.T.S.



- NOTES:**
- UNLESS NOTED OTHERWISE, PROVIDE MATERIALS AND CONSTRUCT IN ACCORDANCE WITH PENNDOT PUBLICATION 408 SECTION 808 - PLANTS, PLANTING & TRANSPLANTING.
  - SET TOP OF ROOT BALL 1" TO 2" HIGHER THAN SURROUNDING GROUND.

**SHRUB PLANTING DETAIL**  
 N.T.S.



- NOTES:**
- UNLESS NOTED OTHERWISE, PROVIDE MATERIALS AND CONSTRUCT IN ACCORDANCE WITH PENNDOT PUBLICATION 408 SECTION 808 - PLANTS, PLANTING & TRANSPLANTING.
  - SET TOP OF ROOT BALL 1" TO 2" HIGHER THAN SURROUNDING GROUND.
  - ATTACH COLLAR STRAPS TO THE TREE AT A POINT NOT LESS THAN 1/3 OF THE HEIGHT OF THE TREE.
  - SPACE ROOT CONTACT FERTILIZER PACKETS EQUALLY AROUND THE BALL OR ROOTS AND SET 4" TO 6" DEEP. PLACE FERTILIZER TABLETS AT THE ROOT ZONE APPROXIMATELY 3" TO 4" DEEP.

**DECIDUOUS TREE PLANTING**  
 N.T.S.

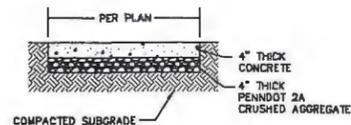
**LANDSCAPING SCHEDULE**

PLAN SYMBOL	QUANTITY	NAME	MINIMUM PLANTING GAUPE	PLANTING SPREAD	MINIMUM PLANTING HEIGHT	REMARKS
<b>DECIDUOUS TREES</b>						
AR	3	ACER RUBRUM "OCTOBER GLORY" "OCTOBER GLORY" RED MAPLE	2.5'	6-7'	12-14'	B&B
AS	2	ACER SACCHARUM SUGAR MAPLE	2'	5-8'	10-12'	B&B
NS	4	NYSSA SYLVATICA BLACK GUM	2.5'	6-7'	12-14'	B&B
<b>EVERGREEN TREES</b>						
PM	3	PSEUDOTSUGA MENZIESII DOUGLAS FIR	-	3-4'	8'	B&B
PG	3	PICEA GLAUCA WHITE SPRUCE	-	3-4'	8'	B&B
<b>SHRUBS</b>						
HV	10	HAMAMELIS VIRGINIANA WITCH HAZEL	-	12-18"	18-24"	CONTAINER; PLANT IN CONTINUOUS MULCHED BED
VD	20	VIBURNUM DENTATUM ARROWWOOD VIBURNUM	-	12-18"	18-24"	CONTAINER; PLANT IN CONTINUOUS MULCHED BED

NO.	REVISION	DATE

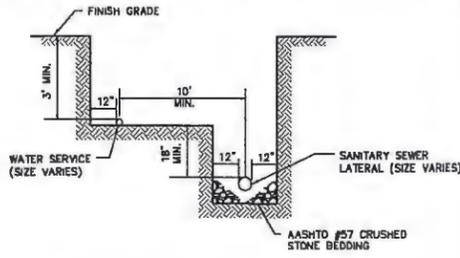
**LANDSCAPING PLAN**  
**2066 MORELAND ROAD**  
 ABBINGTON TOWNSHIP, MONTGOMERY COUNTY, PA  
 DATE: MAY 22, 2015 SCALE 1" = 20'  
 PREPARED BY  
**BOUNDARY STONE ASSOCIATES, LLC**  
 PROFESSIONAL ENGINEERS, LAND SURVEYORS & PLANNERS  
 P.O. BOX 601  
 WEST DEPTFORD, NEW JERSEY 08086  
 PHONE (609) 584-2889  
 FAX (609) 452-1527

**WILLIAM R. CLUPK P.E., P.L.S.**  
 PROFESSIONAL ENGINEER PA LIC. NO. PEO60390  
 PROFESSIONAL LAND SURVEYOR PA LIC. NO. SUD19129

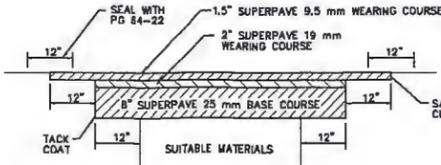


- NOTES:**
1. CONCRETE SHALL BE PENNDOT CLASS A (3,000 P.S.I.)
  2. SUBGRADE SHALL BE WELL GRAINED AND COMPACTED TO A FIRM SURFACE WITH A UNIFORM BEARING LOAD.
  3. UNLESS NOTES OTHERWISE, THE CEMENT CONCRETE SIDEWALK SHALL BE CONSTRUCTED IN ACCORDANCE WITH PENNDOT PUBLICATION FOR SECTION 878 - CEMENT CONCRETE SIDEWALK.

**CONCRETE SIDEWALK**  
N.T.S.



**SANITARY / WATER TRENCHING DETAIL**  
N.T.S.



- NOTE:**
1. EXPOSED HORIZONTAL AND VERTICAL SURFACES SHALL BE PREPARED IN ACCORDANCE WITH PENNDOT PUBLICATION FOR SECTION 404.31(a) - CONDITIONING OF EXISTING SURFACE.

**PAVEMENT RESTORATION**  
N.T.S.

**STANDARD EROSION AND SEDIMENTATION CONTROL PLAN NOTES**

EROSION AND SEDIMENTATION CONTROLS MUST BE CONSTRUCTED, STABILIZED AND FUNCTIONAL BEFORE SITE DISTURBANCE WITHIN THE TRIBUTARY AREAS OF THOSE CONTROLS.

SILT FENCE MUST BE INSTALLED AT LEVEL GRADE. BOTH ENDS OF EACH SILT FENCE SECTION MUST EXTEND AT LEAST 8 FEET UPSLOPE AT 45 DEGREES TO THE MAIN FENCE ALIGNMENT.

SEDIMENT MUST BE REMOVED WHEN ACCUMULATIONS REACH 1/2 THE ABOVE GROUND HEIGHT OF THE SILT FENCE.

ROCK CONSTRUCTION ENTRANCES SHALL BE MAINTAINED ON A DAILY BASIS. ANY ACCUMULATED SEDIMENT MUST BE REMOVED FROM THE ROCK CONSTRUCTION ENTRANCE AND RETURNED TO THE CONSTRUCTION SITE.

STACKPILE HEIGHTS MUST NOT EXCEED 35 FEET. STACKPILE SLOPES MUST BE 2:1 OR FLATTER.

ANY DISTURBED AREA ON WHICH ACTIVITY HAS CEASED AND WHICH WILL REMAIN EXPOSED FOR MORE THAN 20 DAYS MUST BE STABILIZED IMMEDIATELY. DURING NON-GERMINATING PERIODS, MULCH MUST BE APPLIED AT THE RECOMMENDED RATES. DISTURBED AREAS WHICH ARE NOT AT FINISHED GRADE AND WHICH WILL BE REDISTURBED WITHIN 1 YEAR MAY BE STABILIZED IN ACCORDANCE WITH TEMPORARY SEEDING SPECIFICATIONS. DISTURBED AREAS WHICH ARE EITHER AT FINISHED GRADE OR WILL NOT BE REDISTURBED WITHIN 1 YEAR MUST BE STABILIZED IN ACCORDANCE WITH PERMANENT SEEDING SPECIFICATIONS.

A MAINTENANCE PROGRAM WHICH PROVIDES FOR INSPECTION OF BMP'S ON A WEEKLY BASIS AND AFTER EACH MEASURABLE RAINFALL EVENT, INCLUDING REPAIR OF THE BMP'S TO ENSURE EFFECTIVE AND EFFICIENT OPERATION.

UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENTATION CONTROLS MUST BE MAINTAINED PROPERLY. MAINTENANCE MUST INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENTATION CONTROLS AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, REGRADE, RESEEDING, REMULCHING AND RENEWING MUST BE PERFORMED IMMEDIATELY. IF EROSION AND SEDIMENT CONTROL BMP'S FAIL TO PERFORM AS EXPECTED, REPAIRMENT BMP'S OR MODIFICATIONS OF THOSE INSTALLED WILL BE REQUIRED.

SEDIMENT REMOVED FROM BMP'S SHALL BE DISPOSED OF IN LANDSCAPED AREAS OUTSIDE OF STEEP SLOPES, WETLANDS, FLOODPLAINS OR DRAINAGE SWALES AND IMMEDIATELY STABILIZE, OR PLACE IN TOPSOIL STOCKPILE.

THE OPERATOR SHALL REMOVE FROM THIS SITE, RECYCLE, OR DISPOSE OF ALL BUILDING MATERIAL AND WASTES IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS. THE CONTRACTOR SHALL NOT ILLEGALLY BURY, DUMP, OR DISCHARGE BUILDING MATERIALS OR WASTES AT THIS SITE.

PROCEDURES WHICH ENSURE THAT THE PROPER MEASURES FOR RECYCLING OR DISPOSAL OF MATERIALS ASSOCIATED WITH OR FROM THE PROJECT SITE MUST BE PROVIDED.

**MAINTENANCE PROGRAM**

INSPECT EROSION CONTROL MEASURES MINIMUM WEEKLY AND AFTER EACH RUNOFF EVENT. REPAIR/REPLACE AS REQUIRED.

MAINTAIN CONSTRUCTION ENTRANCE. ADD NEW STONE AS REQUIRED.

KEEP ALL ROADWAYS, ADJACENT PROPERTIES, AND WATER COURSES FREE FROM ALL DEBRIS, DROPPINGS AND SEDIMENT. IMMEDIATELY REMOVE ANY SUCH OCCURRENCES.

ALL AREAS WHICH HAVE ERODED SHALL BE FILLED, COMPACTED, SEEDING AND MULCHED IMMEDIATELY.

**UNFORESEEN EROSION CONDITIONS**

SHOULD UNFORESEEN EROSION CONDITIONS DEVELOP DURING CONSTRUCTION, THE CONTRACTOR SHALL TAKE ACTION TO REMEDY SUCH CONDITIONS AND TO PREVENT DAMAGE TO ADJACENT PROPERTIES AS A RESULT OF INCREASED RUNOFF AND/OR SEDIMENT. STOCKPILES OF WOODCHIPS, HAY BALES, CRUSHED STONE AND OTHER MULCHES SHALL BE HELD IN READINESS TO DEAL IMMEDIATELY WITH EMERGENCY PROBLEMS OF EROSION.

THE CONTRACTOR IS ADVISED TO BECOME THOROUGHLY FAMILIAR WITH THE PROVISIONS OF APPENDIX 64, EROSION CONTROL RULES AND REGULATIONS, TITLE 25, PART 1, DEPARTMENT OF ENVIRONMENTAL RESOURCES, SUB-PART C PROTECTION OF NATURAL RESOURCES, ARTICLE III, WATER RESOURCES, CHAPTER 102, EROSION CONTROL.

PROTECTION TO EXISTING TREES AND SHRUBS SHALL BE TAKEN BY THE CONTRACTOR TO ELIMINATE UNNECESSARY DAMAGE.

**INFILTRATION BED CONSTRUCTION SEQUENCE AND CONSTRUCTION & MAINTENANCE NOTES**

**INFILTRATION BED CONSTRUCTION SEQUENCE**

DUE TO THE NATURE OF CONSTRUCTION SITES, SUBSURFACE INFILTRATION SHALL BE INSTALLED TOWARD THE END OF THE CONSTRUCTION PERIOD, IF POSSIBLE.

INSTALL AND MAINTAIN ADEQUATE EROSION AND SEDIMENT CONTROL MEASURES (AS PER THE PENNSYLVANIA EROSION AND SEDIMENT POLLUTION CONTROL PROGRAM MANUAL, LATEST EDITION) DURING CONSTRUCTION.

THE EXCAVATED SUBGRADE UNDER THE BED AREAS SHALL NOT BE COMPACTED OR SUBJECT TO EXCESSIVE CONSTRUCTION EQUIPMENT TRAFFIC PRIOR TO GEOTEXTILE AND STONE BED PLACEMENT.

WHERE EROSION OF THE SUBGRADE HAS CAUSED ACCUMULATION OF FINE MATERIALS AND OR SURFACE PONDING, THIS MATERIAL SHALL BE REMOVED WITH LIGHT EQUIPMENT AND THE UNDERLYING SOILS SCARIFIED TO A MINIMUM DEPTH OF 6 INCHES WITH A YORK RAKE (OR EQUIVALENT) AND LIGHT TRACTOR. ALL FINE GRADING SHALL BE DONE BY HAND. ALL BOTTOMS SHALL BE AT LEVEL GRADE.

EARTHEN BERMS (IF USED) BETWEEN INFILTRATION BEDS SHALL BE LEFT IN PLACE DURING EXCAVATION. THESE BERMS DO NOT REQUIRE COMPACTION IF PROVEN STABLE DURING CONSTRUCTION.

INSTALL UPSTREAM AND DOWNSTREAM CONTROL STRUCTURES, CLEANOUTS, PERFORATED PIPE AND ALL OTHER NECESSARY STORMWATER STRUCTURES.

GEOTEXTILE AND BED AGGREGATE SHALL BE PLACED IMMEDIATELY AFTER APPROVAL OF THE SUBGRADE PREPARATION AND INSTALLATION OF STRUCTURES. GEOTEXTILE SHALL BE PLACED IN ACCORDANCE WITH MANUFACTURERS STANDARDS AND RECOMMENDATIONS. ADJACENT STRIPS OF GEOTEXTILE SHALL OVERLAP A MINIMUM OF 18 INCHES. IT SHALL ALSO BE SECURED AT LEAST 4 FEET OUTSIDE OF THE BED IN ORDER TO PREVENT ANY RUNOFF OR SEDIMENT FROM ENTERING THE STORAGE BED. THIS EDGE STRIP SHALL REMAIN IN PLACE UNTIL ALL BARE SOILS CONTIGUOUS TO THE BEDS ARE STABILIZED AND VEGETATED. AS THE SITE IS FULLY STABILIZED, EXCESS GEOTEXTILE ALONG THE BED EDGES CAN BE CUT BACK TO THE EDGE OF THE BED.

CLEAN-WASHED, UNIFORMLY GRADED AGGREGATE SHALL BE PLACED IN THE BED A MAXIMUM OF 8-INCH LIFTS. EACH LAYER SHALL BE LIGHTLY COMPACTED, WITH CONSTRUCTION EQUIPMENT KEPT OFF THE BED BOTTOM AS MUCH AS POSSIBLE.

APPROVED SOIL MEDIA SHALL BE PLACED OVER INFILTRATION BED IN MAXIMUM 8-INCH LIFTS. SEED AND STABILIZE TOPSOIL.

DO NOT REMOVE INLET PROTECTION OR OTHER EROSION AND SEDIMENT CONTROL MEASURES UNTIL SITE IS FULLY STABILIZED.

**INFILTRATION BED CONSTRUCTION NOTES**

THE BED SHALL BE INSTALLED IN ACCORDANCE WITH THE DETAILS AND DIMENSIONS SHOWN ON THE PLANS.

THE TOWNSHIP SHALL BE CONTACTED 48 HOURS PRIOR TO INSTALLING THE STONE FOR INSPECTION PURPOSES.

THE BED SHALL BE PROTECTED FROM CONSTRUCTION VEHICLES DURING CONSTRUCTION WITH CONSTRUCTION FENCING AND CARE SHALL BE TAKEN TO PREVENT THE COMPACTION OF THE SUBGRADE.

**INFILTRATION BED MAINTENANCE NOTES**

MAINTENANCE OF THE UNDERGROUND SEEPAGE BED SHALL BE THE RESPONSIBILITY OF EACH INDIVIDUAL HOMEOWNER. MAINTENANCE ACTIVITIES SHALL INCLUDE PERIODIC CLEANING OF THE ROOF GUTTERS AND LEAF GRATES OVER THE DOWNSPOUTS.

INFLOW AND OUTFLOW POINTS INTO THE INDIVIDUAL ON-LOT SYSTEMS SHOULD BE KEPT CLEAR OF LEAVES AND OTHER DEBRIS. ANY LEAVES OR DEBRIS WILL NEGATIVELY IMPACT THE PERFORMANCE OF THESE SYSTEMS. ALL DOWNSPOUTS AND OVERFLOW PIPES SHOULD BE KEPT IN GOOD WORKING ORDER.

MAINTENANCE ACTIVITIES SHALL OCCUR EVERY 6 MONTHS OR AFTER A 100 YEAR STORM EVENT.

ALL CATCH BASINS AND INLETS SHALL BE INSPECTED AND CLEANED 2 TIMES PER YEAR.

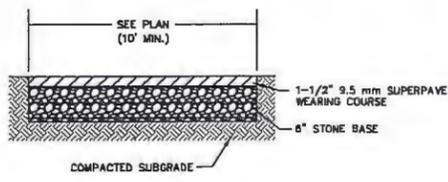
THE OVERLYING VEGETATION OF SUBSURFACE INFILTRATION FEATURES SHALL BE MAINTAINED IN GOOD CONDITION, AND ANY BARE SPOTS REVEGETATED AS SOON AS POSSIBLE.

VEHICULAR ACCESS ON SUBSURFACE INFILTRATION AREAS SHALL BE PROHIBITED, AND CARE SHALL BE TAKEN TO AVOID EXCESSIVE COMPACTION BY MOWERS. IF ACCESS IS NEEDED, USE OF PERMEABLE, TURF REINFORCEMENT SHALL BE CONSIDERED.

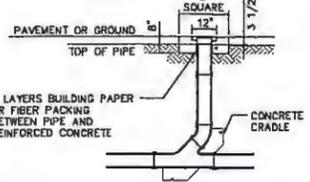
THE TOWNSHIP SHALL HAVE THE RIGHT, BUT NOT THE OBLIGATION TO INSPECT THE STORMWATER MANAGEMENT FACILITIES.

THE HOMEOWNER IS OBLIGATED TO NOTIFY THE TOWNSHIP IF THE HOMEOWNER OBSERVES A STORMWATER MANAGEMENT SYSTEM MALFUNCTION.

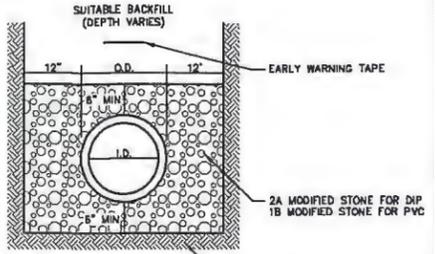
THE DRAINAGE AREAS TO THE BEDS SHALL BE PRESERVED.



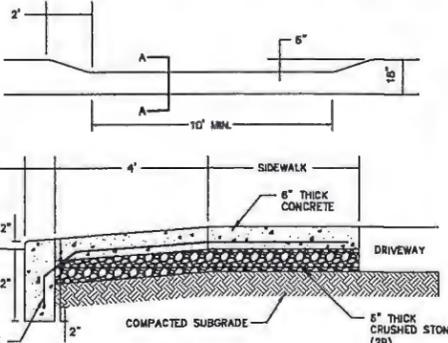
**RESIDENTIAL DRIVEWAY**  
N.T.S.



**SANITARY SEWER CLEAN-OUT**  
N.T.S.



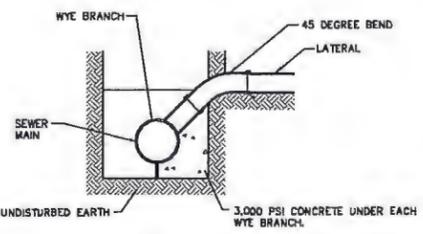
**SANITARY SEWER PIPE BEDDING DETAIL**  
N.T.S.



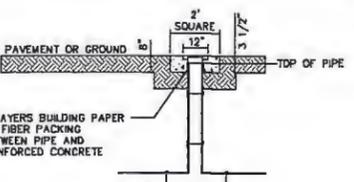
**SECTION A-A**

- NOTES:**
1. CONCRETE SHALL BE 3,000 P.S.I.
  2. SUBGRADE SHALL BE WELL GRAINED AND COMPACTED TO A FIRM SURFACE WITH A UNIFORM BEARING LOAD.
  3. W.W.M. SHALL BE SUPPORTED ON CHAIRS.

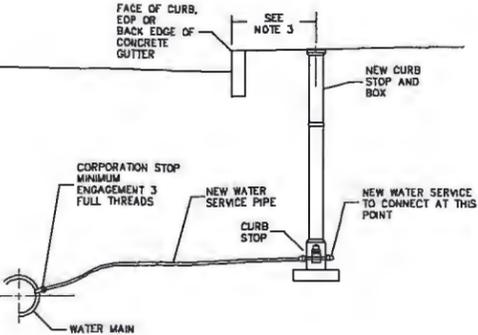
**DEPRESSED CURB, APRON, & SIDEWALK**  
N.T.S.



**WYE LATERAL CONNECTION DETAIL**  
N.T.S.

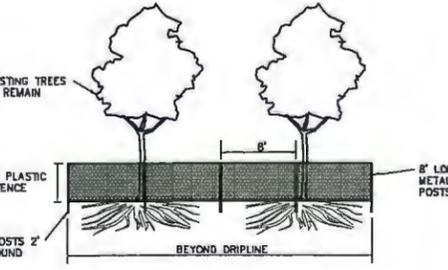


**LAMP HOLE CLEAN-OUT**  
N.T.S.



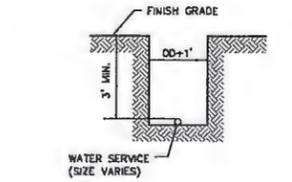
- NOTE:**
1. FOR TAPS > 3/4" CONNECTION, PROVIDE TAPPING SADDLE IN ACCORDANCE WITH AUTHORITY SPECIFICATIONS.
  2. DO NOT PLACE CURB BOX IN PAVED AREA.
  3. WHERE SIDEWALK PARALLEL TO ROADWAY, THE CURB BOX SHALL BE PLACED BETWEEN THE CURB AND SIDEWALK.

**STANDARD WATER SERVICE CONNECTION**  
N.T.S.



- NOTES:**
1. TEMPORARY FENCING (6 FT HIGH) SHALL BE PLACED AT THE DRIPLINE OF THE TREES TO BE SAVED AND SHALL REMAIN UNTIL THE COMPLETION OF CONSTRUCTION. FENCE SHALL COMPLETELY ENCLOSE THE TREES TO INSTALL FENCE POSTS. AVOID MOVING POSTS OR STAKES INTO MAJOR ROOTS.
  2. THERE SHALL BE NO SOIL DISTURBANCE UNDER THE DRIPLINE OF THE TREES TO BE PRESERVED.
  3. NO EQUIPMENT OR MACHINERY SHALL BE USED WITHIN THE PROTECTION FENCE. WORK WITHIN THE PROTECTION FENCE SHALL BE DONE MANUALLY.
  4. NO STOCKPILING OF MATERIALS, VEHICULAR TRAFFIC, OR STORAGE IS ALLOWED WITHIN THE LIMIT OF THE FENCING.

**TREE PROTECTION DETAIL**  
N.T.S.

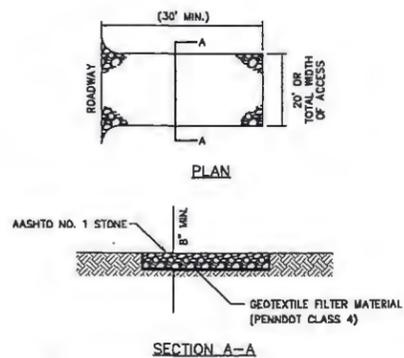


**WATER SERVICE TRENCHING DETAIL**  
N.T.S.

INFORMATION FROM OUR WEBSITE IS THE RESULT OF PROFESSIONAL SERVICES PROVIDED BY BOUNDARY STONE ASSOCIATES, L.L.C. OR ITS AFFILIATED FIRMS. WE DO NOT WARRANT OR REPRESENT THAT THE INFORMATION IS CORRECT, COMPLETE, OR UP-TO-DATE. BOUNDARY STONE ASSOCIATES, L.L.C. IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS. BOUNDARY STONE ASSOCIATES, L.L.C. IS A PROFESSIONAL ENGINEERING FIRM. WE DO NOT PROVIDE ARCHITECTURAL, LANDSCAPE ARCHITECTURE, OR OTHER PROFESSIONAL SERVICES. CONSULT WITH AN ARCHITECT, ENGINEER, OR OTHER PROFESSIONAL AS APPROPRIATE. BOUNDARY STONE ASSOCIATES, L.L.C. IS NOT A PROFESSIONAL ENGINEERING FIRM. WE DO NOT PROVIDE ARCHITECTURAL, LANDSCAPE ARCHITECTURE, OR OTHER PROFESSIONAL SERVICES. CONSULT WITH AN ARCHITECT, ENGINEER, OR OTHER PROFESSIONAL AS APPROPRIATE.

NO.	REVISION	DATE

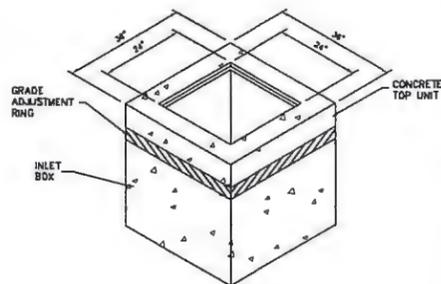
**NOTES & DETAILS**  
2066 MORELAND ROAD  
ABINGTON TOWNSHIP, MONTGOMERY COUNTY, PA  
DATE: MAY 22, 2015 SCALE: 1" = 20'  
PREPARED BY  
**BOUNDARY STONE ASSOCIATES, L.L.C.**  
PROFESSIONAL ENGINEERS, LAND SURVEYORS & PLANNERS  
P.O. BOX 601  
WEST OXFORD, NEW JERSEY 08066  
PHONE (609) 584-2866  
FAX (609) 452-1527  
DATE \_\_\_\_\_  
SHEET 4 OF 5  
DWG. #10761



**NOTES:**

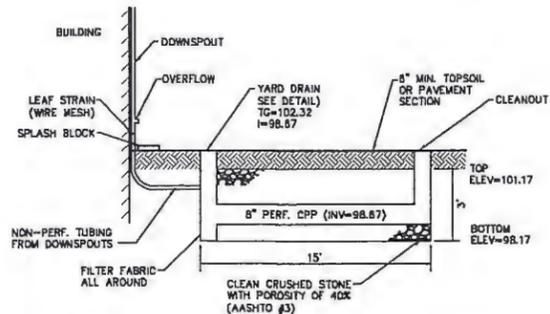
- CONTRACTOR SHALL MAINTAIN/REPLACE STONE MATERIAL AS NEEDED THROUGHOUT CONSTRUCTION TO MAINTAIN MINIMUM THICKNESS DURING USE. A STOCKPILE OF ROCK MATERIAL SHALL BE MAINTAINED ON SITE FOR THIS PURPOSE.
- AT THE END OF EACH CONSTRUCTION DAY, ALL EQUIPMENT DEPOSITED ON PUBLIC ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE.
- TO BE INSTALLED AT ALL LOCATIONS WHERE CONSTRUCTION TRAFFIC EXITS ONTO A PAVED ROADWAY.

**ROCK CONSTRUCTION ENTRANCE**  
N.T.S.



INLET TO BE PLACED ON A MIN. OF 6\"/>

**YARD DRAIN DETAIL**  
N.T.S.



**NOTES:**

THE SEEPAGE BED SHALL BE INSTALLED AND ALL MATERIALS PROVIDED IN ACCORDANCE WITH CHAPTER 6 OF THE PENNSYLVANIA STORMWATER BEST MANAGEMENT PRACTICES MANUAL.

THE SEEPAGE BED SHALL BE LOCATED A MINIMUM OF 10' FROM ALL FOUNDATIONS AND PROPERTY LINES (UNLESS NOTED OTHERWISE).

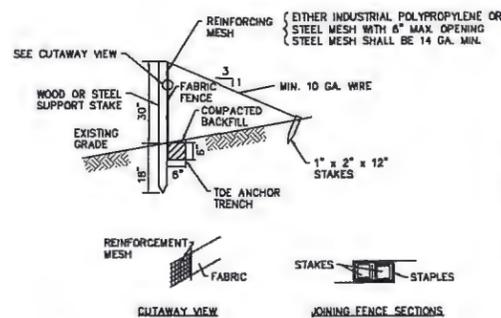
EXCAVATION FOR THE INFILTRATION FACILITY SHALL BE PERFORMED WITH EQUIPMENT WHICH WILL NOT COMPACT THE BOTTOM OF THE BASIN.

THE BOTTOM OF THE BED SHALL BE SCARIFIED PRIOR TO PLACEMENT OF AGGREGATE.

ONLY CLEAN AGGREGATE, FREE OF FINES, SHALL BE ALLOWED. USE AASHTO #3 STONE OR APPROVED SUBSTITUTE.

THE INFILTRATION BED SHOULD BE WRAPPED BY NON-WOVEN GEOTEXTILE FILTER FABRIC PER PA STORMWATER BMP MANUAL.

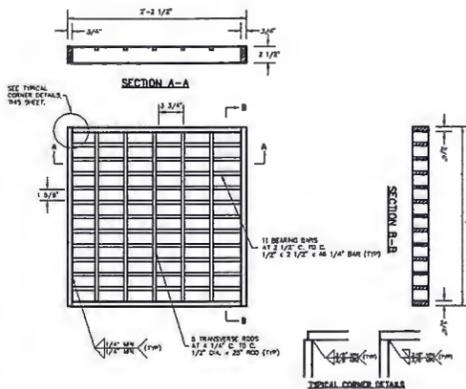
**SEEPAGE BED #1**  
N.T.S.



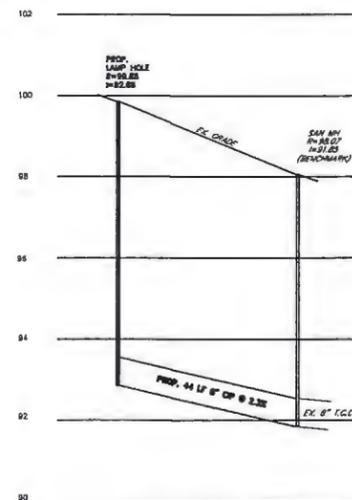
**NOTES:**

- STAKES SPACED @ 6\"/>
- FILTER FABRIC FENCE MUST BE INSTALLED AT LEVEL GRADE. BOTH ENDS OF EACH FENCE SECTION MUST BE EXTENDED AT LEAST 10 FEET UPSTREAM AT 45° TO THE MAIN FENCE ALIGNMENT.
- SEDIMENT MUST BE REMOVED WHERE ACCUMULATIONS REACH 1/2 THE ABOVE GROUND HEIGHT OF THE FENCE.
- ANY FENCE SECTION WHICH HAS BEEN UNLATCHED OR TOPPLED MUST BE IMMEDIATELY REPLACED WITH A ROCK FILTER OUTLET. (SEE ROCK FILTER OUTLET DETAIL.)

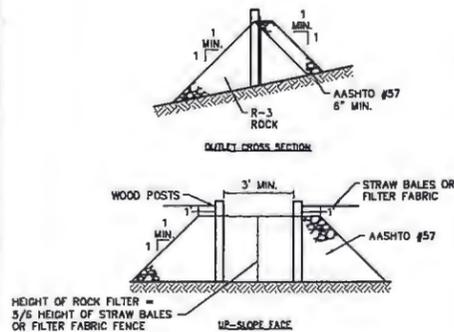
**REINFORCED FILTER FABRIC FENCE**  
N.T.S.



**STRUCTURAL STEEL GRATE BICYCLE SAFE**  
N.T.S.



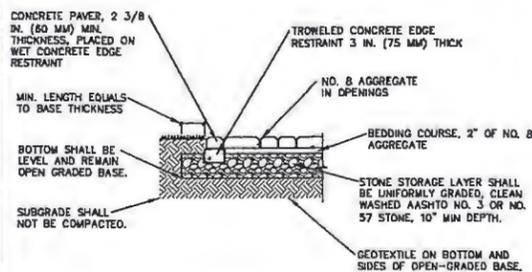
**SANITARY SEWER PROFILE**  
SCALE  
1\"/>



**NOTES:**

- SEDIMENT MUST BE REMOVED WHEN ACCUMULATIONS REACH 1/2 THE HEIGHT OF THE OUTLET.

**ROCK FILTER OUTLET**  
N.T.S.



**NOTES:**

- CP HEAVY CONCRETE PAVERS OR APPROVED EQUAL.
- INSTALL IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
- CONSTRUCTION OF THIS DETAIL CAN BE USED ONLY ON RESIDENTIAL DRIVEWAYS.

**PERVIOUS BLOCK PAVING**  
N.T.S.

INFORMATION SHOWN ON THIS PLAN IS THE RESULT OF PROFESSIONAL SERVICES PROVIDED BY BOUNDARY STONE ASSOCIATES, LLC. ORIGINATOR FOR THE WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR WORKMANSHIP. NO PART OF THIS PLAN OR THE PLAN IS TO BE USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF BOUNDARY STONE ASSOCIATES, LLC.

CANCEL # 815 RECORDING PERMITS CONTAIN THE SEAL (IN 1997) AND THE ORIGINAL SCHEDULE OF THE PROFESSIONAL. IT IS NOT AN AUTHORIZED ORIGINAL RECORDING AND NOT FOR REUSE IN 1997.

NO.	REVISION	DATE

WILLIAM R. CLARK P.E., P.L.S.  
PROFESSIONAL ENGINEER PA LIC. NO. 17004590  
PROFESSIONAL LAND SURVEYOR PA LIC. NO. 51075215

PROFILES & DETAILS  
2066 MORELAND ROAD  
ABINGTON TOWNSHIP, MONTGOMERY COUNTY, PA  
DATE: MAY 22, 2015 SCALE: 1\"/>

PREPARED BY  
**BOUNDARY STONE ASSOCIATES, LLC**  
PROFESSIONAL ENGINEERS, LAND SURVEYORS & PLANNERS  
P.O. BOX 601  
WEST DEP. RD., NEW JERSEY 08006  
PHONE (609) 584-2829  
FAX (609) 452-1927

SHEET 5 OF 5  
DWG. #10761